

ROCKLAND COUNTY SEWER DISTRICT NO. 1

4 Route 340
Orangeburg, New York 10962
Phone: (845) 365-6111 Fax: (845) 365-6686
RCSD@co.rockland.ny.us

George Hoehmann
Chairman

Michael R. Saber, P.E.
Executive Director

October 12, 2022

Ms. Chakiera Locust
Village Clerk
Village of Pomona
100 Ladentown Road
Pomona, NY 10970

Re: Neighborhood House of Worship – K'hal Tiferes Tefillah (Levitan Shul)
7 Hidden Valley Drive, Suffern
Tax Lot 09/32.15-1-5 (formerly 4./54/A4)

Dear Ms. Locust:

Our office has received and reviewed information that the Journal News published on October 11, 2022 in the Legal Notices for the above referenced application to the Planning Board for the public hearing on October 27, 2022. Our comments are as follows:

1. As this is a non-residential project, Rockland County Sewer District No. 1's "Commercial/ Non-residential Wastewater Questionnaire" and the County Planning Information Certification must be submitted to and approved by this office before any sewage is discharged into the District's sewerage system. **The owner or rabbi must sign the wastewater questionnaire.**
2. Details for sanitary sewer construction must comply with the District's construction standards and should be shown on the plans.
3. Inspection of the sanitary sewer connection is subject to approval by the Building Inspector of the Village of Pomona, which owns a sewer main that runs under the property line between 7 Hidden Valley Drive and 5 Hidden Valley Drive.
4. Approval of this special permit application for a house of worship on a 41,312 square foot lot in the R-40 District does not require the applicant to pay an impact fee, in accordance with the Rockland County *Sewer Use Law* as last amended in 2010. **However, if the use or occupancy of the property exceeds one (1) unit (e.g., with a mikvah, a rabbi's residence, accessory apartments, guest suites, a school, a catering hall, or a congregation of 100 families), the District will require further review and the owner will have to pay an impact fee.**

Rocklandgov.com

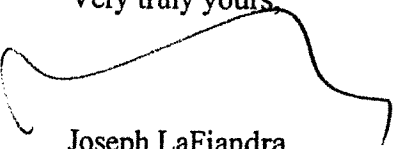
Ms. Chakiera Locust

Page 2

October 12, 2022

Please inform us of all developments in this project. If you have any questions, please contact this office at 845-365-6111.

Very truly yours,



Joseph LaFiandra
Engineer II

Attachments

cc: M. Saber M. Dolphin D. Gregory J. Roth
Michael Kezner – Rockland County Department of Planning
Elizabeth Mello, P.E. – Rockland County Department of Health
Michael Sadowski, P.E. – Town of Ramapo DPW
Yehuda A. Levitan – 9 Hidden Valley Drive, Suffern, NY 10901

File: TOR 32.15-1-5 – 7 Hidden Valley Drive
Reader



Rockland County

Ed Day, Rockland County Executive

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WASTEWATER DISCHARGE QUESTIONNAIRE FOR RESTAURANTS/CATERERS/BAKERIES/FOOD
MANUFACTURERS/BARS/BANQUET HALLS/FOOD PACKAGERS/FOOD DISPENSERS FAST FOOD
TAKE OUTS/CAFETERIAS AND ANYONE DISPENSING OR PREPARING FOOD ON LOCATION

Dear Sewer System User:

Federal and State regulations impose restrictions on the quality of wastewater being discharged into the Hudson River by Rockland County Sewer District No. 1.

In order to protect the environment and ensure that the receiving waters are protected from pollutants passing through the treatment facilities, the District administers a Pretreatment Program. This program is intended to protect the District's wastewater treatment facilities from damage and interference with its proper operation.

The Rockland County Health Department, municipal building, planning and environmental control departments may require comments from this office prior to action on your application. In accordance with the Pretreatment Program, you must complete the attached questionnaire (Form-CWOI) and return it to the Sewer District at the above address, along with the following:

1. A site plan showing the existing and/or proposed sewer line(s) in the street. The plan should also show the existing sewer connection or details for the proposed connection to the line in the street. The sewer elevations should also be clearly shown.
2. County Planning Information Certification form
3. A plumbing layout of the proposed facility, if available.
4. Details of any existing or proposed grease traps.
5. The Wastewater Questionnaire must be signed by a principle of the Corporation.

In all written correspondence please refer to the Tax Map Block and Lot number of the property, and the name and address of the project.

Your concern for the environment is greatly appreciated.

Should you have any questions or need additional information please call this office.

Very truly yours,

Joan Roth
Compliance Administrator

ROCKLAND COUNTY SEWER DISTRICT NO. 1

(845) 365-6111

FAX (845) 365-6686

QUESTIONNAIRE TO BE FILED BY DISCHARGERS PREPARING/DISPENSING FOOD ON LOCATION (CW01)

Name of Project: _____

Address of Project: _____ Tax/Lot/Block No.: _____

Applicants' Name: _____ Telephone No.: _____

Owner of Property: _____ Telephone No.: _____

Name of Engineer/Architect: _____ Telephone No.: _____

Is this Facility: An Addition New Existing Change of Ownership

1. Will food be prepared at this location? Yes No

2. Will food be served at this location? Yes No On reusable plates Yes No

3. Is this a restaurant/cafeteria? Yes No

4. Is this a place of worship? Yes No If Yes, number of families _____

5. Does or will the facility have a fryer? Yes No

6. Does or will the facility have a grill? Yes No

7. Is there an existing grease trap at this location? Yes No

8. If yes to No. 7, then give details: _____

9. Does the facility have a 3-compartment sink? Yes No

10. The location of the sewer this facility is or will be discharging to: _____

11. The total seating capacity (excluding the bar): _____ Number of employees: Part time: _____ Full Time: _____

12. Does the facility have a bar? Yes No If yes, it's seating capacity: _____

13. Does the facility have a separate water meter? Yes No Gallons Per Day, Used or Expected: _____

14. Does the facility provide takeout food? Yes No If yes, % takeout: _____

15. Does this facility cater or provide to catering services? Yes No If yes, average meals per day: _____

16. Hours of operation for the kitchen: _____

17. For Banquet Halls, seating capacity: _____

Remarks, if any: _____

I certify under penalty of Law that I have personally examined and familiar with the information submitted herein and based on inquiry of those individuals immediately responsible for obtaining information, I believe the information above is true, accurate and complete. I am aware of the Rockland County Sewer Use Law as last amended in 2010 and that there are significant penalties for submitting false information.

Name: _____ Signature: _____ Date: _____

Address: _____ Tel: _____

COUNTY PLANNING INFORMATION CERTIFICATION

Pursuant to Rockland County Executive Order No. 1 of 2017 applicants for County approvals for property development reviewed by the County's Commissioner of Planning, must make certain information and documents available to the County before the County will give its approval.

In the case of the present application before the Rockland County Sewer District No. 1 (RCSD No. 1) for [RCSD No. 1 Approval sought] _____

Property Address _____

Tax Map/Block/Lot _____

Check A, B, C, D or E. If B, C, D or E is selected, please ensure the proper documentation accompanies the Certification.

- A. The matter was NOT the subject of review by the Rockland County Commissioner of Planning
- B. The Rockland County Commissioner of Planning 'APPROVED' the proposal a copy of the Commissioner's report is attached to this Certification
- C. The Rockland County Commissioner of Planning 'MODIFIED' or 'DISAPPROVED' the proposal and the Commissioner's report was NOT OVERRIDDEN by the local board
- a. a copy of the Commissioner of Planning's report is attached to this Certification
- b. a copy of the minutes of the local board adopting the Commissioner's report or failing to override the Commissioner's report are attached
- D. The Rockland County Commissioner of Planning 'MODIFIED' or 'DISAPPROVED' the proposal and the Commissioner's report was OVERRIDDEN by the local board
- a. a copy of the Commissioner of Planning's report is attached to this Certification
- b. a certified copy of the minutes of the local board overriding the report of the County Commissioner of Planning, in whole or in part, are attached
- c. a certified written copy of the local board's reasons for the override, as required by GML § 239-m and/or 239-n are attached to this certification.
- E. I request that the requirement of this Certification be waived because:
- a. The issues raised by the Commissioner of Planning are not relevant to the application sought. I have provided a copy of the Commissioner of Planning's review with this request; or
- b. Since the criteria for disconnect is restricted to user's request, and there is no issue concerning additional capacity, safety, health or other burden on the system, no comment of the County Planning Commissioner is relevant; or
- c. Other: _____

[Dept use only: _____ granted; _____ denied]

I, certify under the penalties for perjury, that I have reviewed this Certification, and that the information stated is true, correct and complete.

Name of Applicant: _____
(If applicant is a corporation please state the full corporate name)

Signature of Applicant: _____ Date: _____
(Please note title of signatory if Applicant is a corporation)

use E, b

For disconnections that have not completed County Planning process



Rockland County

Ed Day, Rockland County Executive

DEPARTMENT OF PLANNING
Dr. Robert L. Yeager Health Center
50 Sanatorium Road, Building T
Pomona, New York 10970
Phone: (845) 364-3434 Fax: (845) 364-3435

Douglas J. Schuetz
Acting Commissioner

Helen Kenny Burrows
Deputy Commissioner

September 22, 2022

Pomona Village Board
100 Ladentown Road
Pomona, NY 10970

Tax Data: 32.15-1-5

Re: GENERAL MUNICIPAL LAW REVIEW: Section 239 L and M
Map Date: 07/28/2022

Date Review Received: 08/30/2022

Item: *CONGREGATION TIFERES TEFILLAH (Pom-68)*

Special permit to allow the construction of a 9,976 SF neighborhood house of worship located on 0.96 acres in the R-40 zoning district.

North side of Hidden Valley Drive, opposite Sunset Terrace, south side of Babcock Lane, approximately 535 feet west of Route 306

Reason for Referral:

Town of Ramapo

The County of Rockland Department of Planning has reviewed the above item. Acting under the terms of the above GML powers and those vested by the County of Rockland Charter, I, the Commissioner of Planning, hereby:

****Recommend the following modifications***

- 1 Special permit uses are, by definition, subject to a higher standard of review than as-of-right uses. The Village shall be satisfied that the proposed neighborhood house of worship complies with the individual special permit standards and requirements listed in Section 130-10H of the Zoning Code.
- 2 A review must be completed by the County of Rockland Department of Health, any comment or concerns addressed, and all required permits obtained.
- 3 The applicant must comply with the comments made by the Rockland County Sewer District No. 1 in their letter dated September 13, 2022.
- 4 A review must be completed by the County of Rockland Office of Fire and Emergency Services, Village of Pomona fire inspector, or the Moleston/Hillcrest Fire Department to ensure that the site is designed in a safe manner and that there is easy access to the structure, in the event of an emergency.

CONGREGATION TIFERES TEFILLAH (Pom-68)

5 The Town of Ramapo is the reason this proposal was referred to this department for review. The municipal boundary is along the northern property line of the site. New York State General Municipal Law states that the purposes of Sections 239-l, 239-m and 239-n shall be to bring pertinent inter-community and county-wide planning, zoning, site plan and subdivision considerations to the attention of neighboring municipalities and agencies having jurisdiction. Such review may include inter-community and county-wide considerations in respect to the compatibility of various land uses with one another; traffic generating characteristics of various land uses in relation to the effect of such traffic on other land uses and to the adequacy of existing and proposed thoroughfare facilities; and the protection of community character as regards predominant land uses, population density, and the relation between residential and nonresidential areas. In addition, Section 239-nn was enacted to encourage the coordination of land use development and regulation among adjacent municipalities, and as a result development occurs in a manner which is supportive of the goals and objectives of the general area.

The Town of Ramapo must be given the opportunity to review the proposal and its impact on community character, traffic, water quantity and quality, drainage, stormwater runoff and sanitary sewer service. The areas of countywide concern noted above that directly impact the Town of Ramapo must be considered and satisfactorily addressed, as well as any additional concerns about the proposal.

6 A Short Environmental Assessment Form (SEAF) was submitted with this application. However, the Village's Special Permit Application requires a Full Environmental Assessment Form (FEAF) to be submitted for all special permit uses, regardless of the type of action. As such, the provided SEAF is insufficient. An FEAF must be provided for this application to be considered complete.

7 Prior to the start of construction or grading, all soil and erosion control measures must be in place for the site. These measures must meet the latest edition (November 2016) of the New York State Standards for Urban Erosion and Sediment Control.

8 There shall be no net increase in the peak rate of discharge from the site at all design points.

9 The parking calculation for neighborhood houses of worship is based off the size of the main sanctuary. However, an approximately 2,200 SF social hall is also proposed in the basement of the building. Concurrent use of both the sanctuary and social hall may require additional parking spaces. The Board must be assured that the provided parking is sufficient for the proposed use. The Village shall monitor the site post construction to determine whether the landbanked spaces will be needed.

10 The landscaping plan shall be supplemented with evergreen landscaping along the western property line to shield the impact of the proposed use from the adjacent residential dwelling, as required by Section 130-10H(5).

11 The project narrative indicates a lighting plan has not yet been developed. When one is prepared, it must demonstrate that the intensity of the candle lumens is less than 0.1 at the property line, as per Section 130-10H(7).

12 The project narrative states a sign plan has not yet been developed. Any signage that is proposed in the future must comply with Section 130-10H(10).

13 Map Note 5 lists the fire district servicing the site as Monsey. Our records indicate that it should be the Moleston/Hillcrest District. This shall be clarified.

14 We request the opportunity to review the site plan for the proposed neighborhood house of worship, as required by New York State General Municipal Law, Section 239-m (3)(a)(iv).

15 Pursuant to General Municipal Law (GML) Section 239-m and 239-n, if any of the conditions of this GML review are overridden by the board, then the local land use board must file a report with the County Commissioner of Planning of the final action taken. If the final action is contrary to the recommendation of the Commissioner, the local land use board must state the reasons for such action.

CONGREGATION TIFERES TEFILLAH (Pom-68)

16 In addition, pursuant to Executive Order 01-2017 signed by County Executive Day on May 22, 2017, County departments are prohibited from issuing a County permit, license, or approval until the report is filed with the County Commissioner of Planning. The applicant must provide to any County agency which has jurisdiction of the project: 1) a copy of the Commissioner report approving the proposed action; or 2) a copy of the Commissioner of Planning recommendations to modify or disapprove the proposed action, and a certified copy of the land use board statement overriding the recommendations to modify or disapprove, and the stated reasons for the land use board's override.

17 The following additional comments are offered strictly as observations and are not part of our General Municipal Law (GML) review. The board may have already addressed these points or may disregard them without any formal vote under the GML process:

17.1 This application was officially received by the Rockland County Planning Department on August 30, 2022. The application materials indicate that the public hearing is on September 19, 2022. As a reminder, the State General Municipal Law, Section 239 (m) 4.(b) states that "Such county planning agency or regional planning council, or an authorized agent of said agency or council, shall have thirty days after receipt of a full statement of such proposed action, or such longer period as may have been agreed upon by the county planning agency or regional planning council and the referring body, to report its recommendations to the referring body, accompanied by a statement of the reasons for such recommendations." Adequate time must be provided to the Rockland County Planning Department in order for us to do our review before the public hearing is scheduled and the matter heard before the board.

17.2 The GML Referral Form appears to have not been fully completed. All questions, such as the Board, referral agencies, action, and map date should be answered.

17.3 The second paragraph on page 3 of the project narrative refers to schools. This must be corrected as no school is proposed for this site.

17.4 SUEZ was recently acquired by Veolia. Map Note 7 must be corrected accordingly.



Douglas J. Schuetz
Acting Commissioner of Planning

- cc: Mayor Ian Banks, Pomona
- Rockland County Department of Health
- Rockland County Office of Fire and Emergency Services
- Rockland County Sewer District No. 1
- Moleston/Hillcrest Fire District
- Sparaco & Youngblood, PLLC
- Town of Ramapo

**NYS General Municipal Law Section 239 requires a vote of a 'majority plus one' of your agency to act contrary to the above findings. The review undertaken by the Rockland County Planning Department is pursuant to, and follows the mandates of Article 12-B of the New York General Municipal Law. Under Article 12-B the County of Rockland does not render opinions, nor does it make determinations, whether the item reviewed implicates the Religious Land Use and Institutionalized Persons Act. The Rockland County Planning Department defers to the municipality forwarding the item reviewed to render such opinions and make such determinations if appropriate under the circumstances.*

In this respect, municipalities are advised that under the Religious Land Use and Institutionalized Persons Act, the preemptive force of any provision of the Act may be avoided (1) by changing a policy or practice that may result in a substantial burden on religious exercise, (2) by retaining a policy or practice and exempting the substantially burdened religious exercise, (3) by providing exemptions from a policy or practice for applications that substantially burden religious exercise, or (4) by any other means that eliminates the substantial burden.

Proponents of projects are advised to apply for variances, special permits or exceptions, hardship approval or other relief.

CONGREGATION TIFERES TEFILLAH (Pom-68)

Pursuant to New York State General Municipal Law §239-m(6), the referring body shall file a report of final action it has taken with the Rockland County Department of Planning within thirty (30) days after final action. A referring body which acts contrary to a recommendation of modification or disapproval of a proposed action shall set forth the reasons for the contrary action in such report.



EMANUEL LAW P.C.

Ira M. Emanuel, Esq. | Amy Mele, Esq. *Of Counsel*
Counsel to Freeman & Loftus, RLLP

Four Laurel Road
New City, NY 10956

Info@EmanuelLaw.com

www.EmanuelLaw.com

Tel: 845-654-4141

October 19, 2022

Pomona Village Board
100 Ladentown Road
Pomona, NY 10970

Re: Cong. Tiferes Tefillah – 7 Hidden Valley Rd House of Worship

Dear Mayor Banks and Trustees:

We represent the applicant in the above matter, which seeks a special permit to construct and maintain a house of worship. We have received the September 22, 2022, review letter from the Rockland County Planning Department, and have the following comments.

We first note that the only reason for referral to the Department is the proximity of the site to the boundary of the Town of Ramapo. There is no direct impact of the project on the Town, nor is there direct impact of the project on nearby State Route 306. The Department's review is limited, by law, to County-wide and inter-community impacts.

The Department's review letter contains seventeen separate comments. Not a single comment is substantive. Many are boilerplate comments that appear in virtually every review from the Department. Others seek clarification or correction of details.

1. Special permit uses are, by definition, subject to a higher standard of review than as-of-right uses. The Village shall be satisfied that the proposed neighborhood house of worship complies with the individual special permit standards and requirements listed in Section 130-10H of the Zoning Code.

Comment noted.

2 A review must be completed by the County of Rockland Department of Health, any comment or concerns addressed, and all required permits obtained.

The applicant will comply with all applicable regulations.

3 The applicant must comply with the comments made by the Rockland County Sewer District No. 1 in their letter dated September 13, 2022.

The applicant will comply with all applicable regulations.

4 A review must be completed by the County of Rockland Office of Fire and Emergency Services, Village of Pomona fire inspector, or the Moleston/Hillcrest Fire Department to ensure that the site is designed in a safe manner and that there is easy access to the structure, in the event of an emergency.

Comment noted.

5 The Town of Ramapo is the reason this proposal was referred to this department for review. The municipal boundary is along the northern property line of the site. New York State General Municipal Law states that the purposes of Sections 239-1, 239-m and 239-n shall be to bring pertinent inter-community and county-wide planning, zoning, site plan and subdivision considerations to the attention of neighboring municipalities and agencies having jurisdiction. Such review may include inter-community and county-wide considerations in respect to the compatibility of various land uses with one another; traffic generating characteristics of various land uses in relation to the effect of such traffic on other land uses and to the adequacy of existing and proposed thoroughfare facilities; and the protection of community character as regards predominant land uses, population density, and the relation between residential and nonresidential areas. In addition, Section 239-nn was enacted to encourage the coordination of land use development and regulation among adjacent municipalities, and as a result development occurs in a manner which is supportive of the goals and objectives of the general area.

The Town of Ramapo must be given the opportunity to review the proposal and its impact on community character, traffic, water quantity and quality, drainage, stormwater runoff and sanitary sewer service. The areas of countywide concern noted above that directly impact the Town of Ramapo must be considered and satisfactorily addressed, as well as any additional concerns about the proposal.

Comment noted.

6 A Short Environmental Assessment Form (SEAF) was submitted with this application. However, the Village's Special Permit Application requires a Full Environmental Assessment Form (FEAF) to be submitted for all special permit uses, regardless of the type of action. As such, the provided SEAF is insufficient. An FEAF must be provided for this application to be considered complete.

A Full EAF, as required by Zoning Code § 130-28.E(4)(a)(4), is submitted herewith.

7 Prior to the start of construction or grading, all soil and erosion control measures must be in place for the site. These measures must meet the latest edition (November 2016) of the New York State Standards for Urban Erosion and Sediment Control.

The applicant will comply with all applicable regulations.

8 There shall be no net increase in the peak rate of discharge from the site at all design points.

Agreed.

9 The parking calculation for neighborhood houses of worship is based off the size of the main sanctuary. However, an approximately 2,200 SF social hall is also proposed in the basement of the building. Concurrent use of both the sanctuary and social hall may require additional parking spaces. The Board must be assured that the provided parking is sufficient for the proposed use. The Village shall monitor the site post construction to determine whether the landbanked spaces will be needed.

The Department apparently does not understand the use of a social hall in Orthodox Jewish houses of worship. Such a hall is used primarily for gatherings after the conclusion of services, where a small snack is served. It may also be used for meetings that are not appropriate for the sanctuary. The social hall and the sanctuary are almost never used at the same time.

Nonetheless, the reason that the landbanked spaces are offered is to provide insurance in case the need for additional on-site parking arises. Fifteen parking spaces are required by the Zoning Code, and will be installed as part of construction. Nine parking spaces, or an additional 60%, are landbanked, and can be installed when needed, as determined by either the Village (most likely through its Building Inspector) or the Congregation.

10 The landscaping plan shall be supplemented with evergreen landscaping along the western property line to shield the impact of the proposed use from the adjacent residential dwelling, as required by Section 130-10H(5),

The applicant will comply with all applicable regulations. A line of evergreens has been proposed along the entire length of the easterly lot line, screening the affected neighboring residence. The species of evergreen will be determined in consultation with the Planning Board.

11 The project narrative indicates a lighting plan has not yet been developed. When one is prepared, it must demonstrate that the intensity of the candle lumens is less than 0.1 at the property line, as per Section 13010H(7).

The applicant will comply with all applicable regulations.

12 The project narrative states a sign plan has not yet been developed, Any signage that is proposed in the future must comply with Section 130-10H(10).

The applicant will comply with all applicable regulations, and reserves its right to seek any variances it deems appropriate.

13 Map Note 5 lists the fire district servicing the site as Monsey. Our records indicate that it should be the Moleston/Hillcrest District. This shall be clarified.

The applicant is investigating the tax records to determine the correct fire district. If necessary, the plan notes will be changed. However, this has no impact on the special permit being requested.

14 We request the opportunity to review the site plan for the proposed neighborhood house of worship, as required by New York State General Municipal Law, Section 239-m (3)(a)(iv).

Comment noted.

15 Pursuant to General Municipal Law (GML) Section 239-m and 239-n, if any of the conditions of this GML review are overridden by the board, then the local land use board must file a report with the County Commissioner of Planning of the final action taken. If the final action is contrary to the recommendation of the Commissioner, the local land use board must state the reasons for such action.

Comment noted.

16 In addition, pursuant to Executive Order 01-2017 signed by County Executive Day on May 22, 2017, County departments are prohibited from issuing a County permit, license, or approval until the report is filed with the County Commissioner of Planning, The applicant must provide to any County agency which has jurisdiction of the project: 1) a copy of the Commissioner report approving the proposed action; or 2) a copy of the Commissioner of Planning recommendations to modify or disapprove the proposed action, and a certified copy of the land use board statement overriding the recommendations to modify or disapprove, and the stated reasons for the land use board's override.

Comment noted.

17 The following additional comments are offered strictly as observations and are not part of our General Municipal Law (GML) review. The board may have already addressed these points or may disregard them without any formal vote under the GML process:

17.1 This application was officially received by the Rockland County Planning Department on August 30, 2022. The application materials indicate that the public hearing is on September 19, 2022. As a reminder, the State General Municipal Law, Section 239 (m) 4,(b) states that "Such county planning agency or regional planning council, or an authorized agent of said agency or council, shall have thirty days after receipt of a full statement of such proposed action, or such longer period as may have been agreed upon by the county planning agency or regional. planning council and the referring body, to report its recommendations to the referring body, accompanied by a

statement of the reasons for such recommendations," Adequate time must be provided to the Rockland County Planning Department in order for us to do our review before the public hearing is scheduled and the matter heard before the board.

The public hearing for special permit review began on September 19, 2022, and was continued, without decision, to October 24, 2022. The Department's comments were received in time to be considered at the October 24, 2022 public hearing session.

17.2 The GML Referral Form appears to have not been fully completed. All questions, such as the Board, referral agencies, action, and map date should be answered.

The GML Referral Form was inadvertently omitted from the original submission. A completed form was submitted to the Village on October 7, 2022.


17.3 The second paragraph on page 3 of the project narrative refers to schools. This must be corrected as no school is proposed for this site.

Noted. The context makes it clear that the same New York case law applies to houses of worship. No school is proposed for this site in this application.

17.4 SUEZ was recently acquired by Veolia. Map Note 7 must be corrected accordingly.

The map note will be corrected in the next revision.

Very truly yours,
EMANUEL LAW P.C.


By: _____
Ira M. Emanuel, Esq.

Cc: Client
J.T. Lockman
Brian Nugent, Esq.

**Full Environmental Assessment Form
Part 1 - Project and Setting**

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Congregation Tiferes Tefillah		
Project Location (describe, and attach a general location map): North side of Hidden Valley Drive, opposite Sunset Terrace, in the Village of Pomona, Town of Ramapo, Rockland County		
Brief Description of Proposed Action (include purpose or need): This project is the for the construction of a proposed Synagogue with an appropriate parking area and drainage.		
Name of Applicant/Sponsor: Yehuda A. Levitan		Telephone: 732-267-5852
		E-Mail: Rabbiarilevitan@gmail.com
Address: 9 Hidden Valley Drive		
City/PO: Suffern	State: NY	Zip Code: 10901
Project Contact (if not same as sponsor; give name and title/role): David Leizer		Telephone: 845-222-1179
		E-Mail: david@dnldvelopers.com
Address: 4 Ayden Court		
City/PO: Suffern	State: NY	Zip Code: 10901
Property Owner (if not same as sponsor): ZED Equities		Telephone:
		E-Mail:
Address: 11 North Airmont Road Suite 111		
City/PO: Suffern	State: NY	Zip Code: 10901

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Special Permit	August 2022
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	Village of Pomona Planning Board	August 2022
c. City, Town or <input type="checkbox"/> Yes <input type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Rockland County Health Dep't. and Ramapo DPW	
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<ul style="list-style-type: none"> If Yes, complete sections C, F and G. If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, identify the plan(s):	

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, identify the plan(s):	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
 If Yes, what is the zoning classification(s) including any applicable overlay district?
R-40

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
 If Yes,
 i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? East Ramapo Central School District

b. What police or other public protection forces serve the project site?
Town of Ramapo Police

c. Which fire protection and emergency medical services serve the project site?
Monsey Fire Company # 1

d. What parks serve the project site?
Willow Tree Park, Mt. Ivy County Park, Harriman State Park, Palisades Interstate Park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? The proposed action is a synagogue (Neighborhood House of Worship)

b. a. Total acreage of the site of the proposed action? 0.96 acres
 b. Total acreage to be physically disturbed? 0.96 acres
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 0.96 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
 If Yes,
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

 ii. Is a cluster/conservation layout proposed? Yes No
 iii. Number of lots proposed? _____
 iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No
 i. If No, anticipated period of construction: _____ months
 ii. If Yes:
 • Total number of phases anticipated _____
 • Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
 • Anticipated completion date of final phase _____ month _____ year
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____ 1

ii. Dimensions (in feet) of largest proposed structure: _____ 39.7 height; _____ 69 width; and _____ 74 length

iii. Approximate extent of building space to be heated or cooled: _____ 10,200 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ 681 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: Veolia
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
 - Date application submitted or anticipated: _____
 - Proposed source(s) of supply for new district: _____
- v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ 681 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

Sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: Rockland County Sewer District # 1
- Name of district: Benefit Area # 5
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will a line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
 ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

 • If to surface waters, identify receiving water bodies or wetlands: _____

 • Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)
 _____ fleet or delivery vehicles
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):
O&RU grid.

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: _____ 8 a.m. - 5 a.m.
- Saturday: _____
- Sunday: _____
- Holidays: _____

ii. During Operations:

- Monday - Friday: _____
- Saturday: _____
- Sunday: _____
- Holidays: _____

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:
Heavy equipment during construction 8 a.m. to 5 a.m. Monday thru Friday

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: Existing Vegetation screening will be removed.

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
Parking area and driveway lighting on poles > 14' in height. All lighting "Dark Skies rated".

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: Existing vegetation screening will be removed. However, new landscaping is to be proposed to provide a landscaped buffer.

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: _____ 50 tons per 1 yr. of construction (unit of time)
 • Operation : _____ 19 tons per _____ year (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: Metal, cardboard, glass and plastics are separated and recycled.

 • Operation: Metal, cardboard, glass and plastics are separated and recycled and picked up by a recycled waste hauler.

 iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: After the recycled waste is removed all other debris are brought to a local disposal sorting station.

 • Operation: After recycled waste is removed all other waste is picked up by a private waste hauler.

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban Industrial Commercial Residential (suburban) Rural (non-farm)

Forest Agriculture Aquatic Other (specify): _____

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.10	0.49	+0.39
• Forested	0.10	0.00	-0.10
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0.76	0.47	-0.29
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____
iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? > 10' by deep hole test feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site: Weathersfield gravelly silt loam 100 %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: > 10' feet

e. Drainage status of project site soils: Well Drained: 100 % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: 80 % of site
 10-15%: 15 % of site
 15% or greater: 5 % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? **Note: Automatic NYSDEC Mapper response, however no visible evidence appears to exist on the site supporting claim.* Yes No

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: Sole Source Aquifer Names: Ramapo SSA

<p>m. Identify the predominant wildlife species that occupy or use the project site:</p>		
<p>Deer _____ Raccoons _____</p>	<p>Birds _____ _____</p>	<p>Rodents _____ _____</p>
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe the habitat/community (composition, function, and basis for designation): _____ _____</p> <p>ii. Source(s) of description or evaluation: _____</p> <p>iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 		
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Species and listing (endangered or threatened): _____ Timber Rattlesnake</p>		
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Species and listing: _____ _____</p>		
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes, give a brief description of how the proposed action may affect that use: _____ _____</p>		
<p>E.3. Designated Public Resources On or Near Project Site</p>		
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, provide county plus district name/number: _____</p>		
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>i. If Yes: acreage(s) on project site? _____</p> <p>ii. Source(s) of soil rating(s): _____</p>		
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p>ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____</p>		
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. CEA name: _____</p> <p>ii. Basis for designation: _____</p> <p>iii. Designating agency and date: _____</p>		

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Yes No

If Yes:

i. Nature of historic/archaeological resource: Archaeological Site Historic Building or District

ii. Name: _____

iii. Brief description of attributes on which listing is based: _____

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? Yes No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? Yes No

If Yes:

i. Describe possible resource(s): _____

ii. Basis for identification: _____

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? Yes No

If Yes:

i. Identify resource: Palisades Interstate Park, and Harriman State Park

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): Interstate and State Parks

iii. Distance between project and resource: 0.66 miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? Yes No

If Yes:

i. Identify the name of the river and its designation: _____

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? Yes No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

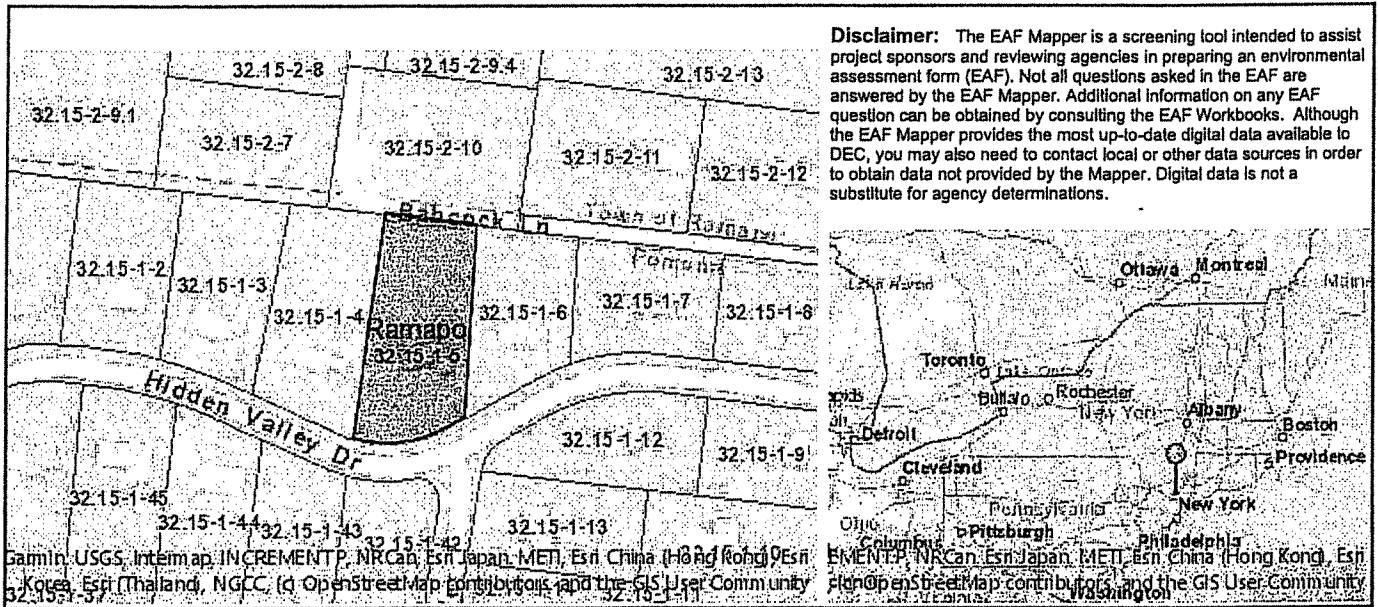
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Yehuda A. Levitan Date 10/13/22

Signature  Title Rabbi, Applicant



B.1.i [Coastal or Waterfront Area]	No
B.1.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Sole Source Aquifer Names:Ramapo SSA
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes

E.2.o. [Endangered or Threatened Species - Name]	Timber Rattlesnake
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No



Memorandum

To: Village of Pomona Board of Trustees
Village of Pomona Planning Board
Technical Advisory Committee

From: Jonathan T. Lockman, AICP

Re: Congregation Pomona Heights, 60 Halley Drive
SBL# 25.09-1-33

Date: October 20, 2022

cc: Martin Spence, P.E.
Stephen M. Honan, Esq., Attorney
Chakiera Locust, Clerk
Lou Zummo, Building Inspector
Paul Baum, Esq. (for the Applicant)

We are in receipt of the following materials for a Planning Board application from Shimon Galandauer for the development of a Neighborhood House of Worship for Congregation Pomona Heights, at 60 Halley Drive.

Received and reviewed for this memorandum:

- Site Plan Set, 5 sheets, 60 Halley Drive, stamped by Paul Gdanski, P.E., with latest revision date of 10/04/2022, as follows;
 - 1, Grading, Utility & Soil Erosion Plan, Site Plan
 - 2, Lighting Plan, Site Plan
 - 3, Soil Erosion Plan, Site Plan
 - 4, Slope Analysis Plan, Site Plan
 - 5, Details Sheet, Site Plan
- Landscape Plan, Sheet CP-101, Conceptual Plan, 60 Halley Drive, by Yost Design, stamped by Blythe Yost, RLA, , dated July 21, 2022, with latest revision date of October 7, 2022.

Project Summary

The subject lot currently contains a 1 story residence, and it is located in the R-40 zoning district on the east side of Halley Drive. The lot has an area of 40, 250 gross sf. No wetlands or floodplains are present. The applicant plans to add to the existing building and to convert it to a neighborhood house of worship with a total floor area of 9,122 sf.

Submission Comments

1. Per comment 2 of our previous memorandum, lighting details including cut sheets for fixtures and luminaires have been included on sheet 2. A color temperature of 3000k or less has been specified. This meets the standards of §130-10.H(7).

Zoning Comments

2. Per comment 5 of our previous memorandum, parking requirements as calculated on sheet 1 are now reconciled with the sanctuary square footage shown in the floorplans.

3. Note that the rear of the site is surrounded by a double retaining wall. Single retaining walls extend along both sidelines from a line even with the rear of the existing house, extending forward almost to the street. Retaining walls are required to have a maximum height of ten (10) feet, unless a waiver is obtained from the Planning Board. See §130-16.M(5), subparts a and e, from new local law. Waivers may only be granted by the Planning Board in cases at a site with special circumstances resulting in extraordinary hardships. In no event may a waiver be granted for walls higher than fifteen (15) feet. **We note that at the rear of site some lengths of the walls are planned for an exact height of 15 feet. Per comment 6 of our previous memorandum, please show all sections of retaining wall where the difference between "BW" and "TW" (bottom of wall and top of wall) elevation values is between 10 and 15 feet. Please provide a waiver request to the Planning Board with justifications for these wall segments between ten and fifteen feet, or redesign the site with triple walls in order to meet the standards without waivers**

Planning Comments

4. Concurrent with its issuance of a special permit, **the Village Board of Trustees may prohibit on-street parking on one side of the Halley Drive** within 750 feet of the synagogue's main entrance, to ensure adequate room for passage of emergency vehicles, during times when on-street parking may occur. **We recommend that the Village Board implement a parking ban on one side of Halley Drive.**

SEQRA Comments

5. We understand that the Village Board has notified its intent to act as Lead Agency for the Special Permit Application. **No objection has been filed, so the Village Board may act as Lead Agency.** We will provide the Village Board with a Part II form and negative declaration for its consideration.

Please let me know if you have any questions or comments regarding this review.

Items Previously Reviewed

We reviewed the following submissions for our previous memorandum, dated September 19, 2022:

- Site Plan Set, 2 sheets, 60 Halley Drive, stamped by Paul Gdanski, P.E., with latest revision date of 09/14/2022*, as follows:
 - 1, Grading, Utility & Soil Erosion Plan, Site Plan
 - 2, Lighting Plan, Site Plan
- Architectural Plan Set, 10 sheets, entitled "Cong. Pomona Heights," stamped by William Bateman, RA, dated 8/17/22, revised 9/15/22, as follows:
 - A-1, Front & Right Elevations
 - A-2, Rear & Left Elevations
 - A-3, General Note, Mikvah Sections
 - A-4, Foundation Plan Details
 - A-5, Sub-Basement Floor Plan
 - A-6, Basement Floor Plan
 - A-7. First Floor Plan

- A-8, Roof Plan Details
- A-9, Typ. Wall Section, Stairs Details, Plumbing Riser Diag.
- A-10, TJI Details
- Landscape Plan, Sheet CP-101, Conceptual Plan, 60 Halley Drive, by Yost Design, unstamped, with latest revision date of September 16, 2022.
**Note: This plan set stamped by Paul Gdanski is modified compared to the previous submission with the latest revision date of 9/14/22. However, a new revision date has not been shown. Please correct.*

We reviewed the following submissions for our previous memorandum, dated September 15, 2022:

- Narrative Summary, RE: Congregation Pomona Heights, unsigned, undated.
- Public Hearing Notice, House of Worship, 60 Halley Drive, for September 19, 2022 at 8:00 P.M., to consider a Special Permit Application
- Special Permit Application package, to Village Board for a Neighborhood House of Worship, signed by Shimon Galandauer, dated 18 August 2022.
- SEAF form Part1, signed by Shimon Galandauer, dated 8/26/22.
- Planning Board Site Plan Application package, to Planning Board, to convert Rabbi's residence to a house of worship, signed by Shimon Galandauer, dated 8/18/22.
- Architectural Plan Set, 10 sheets, entitled "Cong. Pomona Heights," stamped by William Bateman, RA, dated 8/17/22, as follows:
 - A-1, Front & Right Elevations
 - A-2, Rear & Left Elevations
 - A-3, General Note, Mikvah Sections
 - A-4, Foundation Plan Details
 - A-5, Sub-Basement Floor Plan
 - A-6, Basement Floor Plan
 - A-7, First Floor Plan
 - A-8, Roof Plan Details
 - A-9, Typ. Wall Section, Stairs Details, Plumbing Riser Diag.
 - A-10, TJI Details
- Site Plan Set, 2 sheets, 60 Halley Drive, stamped by Paul Gdanski, P.E., with latest revision date of 09/14/2022, as follows;
 - 1, Grading, Utility & Soil Erosion Plan, Site Plan
 - 2, Lighting Plan, Site Plan
- Landscape Plan, Sheet CP-101, Conceptual Plan, 60 Halley Drive, by Yost Design, unstamped, dated July 21, 2022.

Full Environmental Assessment Form
Part 2 - Identification of Potential Project Impacts

Agency Use Only [If applicable]
 Project : Cong. Pomona Heights 60 Halley
 Date : October 24, 2022

Part 2 is to be completed by the lead agency. Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency's reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency and the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

Tips for completing Part 2:

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer "Yes" to a numbered question, please complete all the questions that follow in that section.
- If you answer "No" to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box "Moderate to large impact may occur."
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the "whole action".
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

1. Impact on Land Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1) <i>If "Yes", answer questions a - j. If "No", move on to Section 2.</i>			
		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input type="checkbox"/>	<input checked="" type="checkbox"/>
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

2. Impact on Geological Features
 The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g) NO YES
If "Yes", answer questions a - c. If "No", move on to Section 3.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____ _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

3. Impacts on Surface Water
 The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h) NO YES
If "Yes", answer questions a - l. If "No", move on to Section 4.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input type="checkbox"/>	<input type="checkbox"/>

1. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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4. Impact on groundwater The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer. <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t) If "Yes", answer questions a - h. If "No", move on to Section 5.			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

5. Impact on Flooding The proposed action may result in development on lands subject to flooding. <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. E.2) If "Yes", answer questions a - g. If "No", move on to Section 6.			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in development in a designated floodway.	E2i	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e	<input type="checkbox"/>	<input type="checkbox"/>

g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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6. Impacts on Air
 The proposed action may include a state regulated air emission source. NO YES
 (See Part 1. D.2.f., D.2.h, D.2.g)
If "Yes", answer questions a - f. If "No", move on to Section 7.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels: i. More than 1000 tons/year of carbon dioxide (CO ₂) ii. More than 3.5 tons/year of nitrous oxide (N ₂ O) iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs) iv. More than .045 tons/year of sulfur hexafluoride (SF ₆) v. More than 1000 tons/year of carbon dioxide equivalent of hydrochloroflourocarbons (HFCs) emissions vi. 43 tons/year or more of methane	D2g D2g D2g D2g D2g D2h	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

7. Impact on Plants and Animals
 The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.) NO YES
If "Yes", answer questions a - j. If "No", move on to Section 8.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input type="checkbox"/>	<input type="checkbox"/>

e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

8. Impact on Agricultural Resources
The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.) NO YES
If "Yes", answer questions a - h. If "No", move on to Section 9.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

9. Impact on Aesthetic Resources The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.) <i>If "Yes", answer questions a - g. If "No", go to Section 10.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	E3h	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	E3h E2q, E1c	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 -3 mile 3-5 mile 5+ mile	D1a, E1a, D1f, D1g	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

10. Impact on Historic and Archeological Resources The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f. and g.) <i>If "Yes", answer questions a - e. If "No", go to Section 11.</i>			
		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on the National or State Register of Historical Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places.	E3e	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	E3g	<input type="checkbox"/>	<input type="checkbox"/>

d. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
e. If any of the above (a-d) are answered "Moderate to large impact may occur", continue with the following questions to help support conclusions in Part 3:			
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f	<input type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property's setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>

11. Impact on Open Space and Recreation
 The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan.
 (See Part 1. C.2.c, E.1.c., E.2.q.)
 If "Yes", answer questions a - e. If "No", go to Section 12.

NO YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in an impairment of natural functions, or "ecosystem services", provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b, E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c, E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>
e. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

12. Impact on Critical Environmental Areas
 The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d)
 If "Yes", answer questions a - c. If "No", go to Section 13.

NO YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

13. Impact on Transportation
 The proposed action may result in a change to existing transportation systems. NO YES
 (See Part 1. D.2.j)
 If "Yes", answer questions a - f. If "No", go to Section 14.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Other impacts: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

14. Impact on Energy
 The proposed action may cause an increase in the use of any form of energy. NO YES
 (See Part 1. D.2.k)
 If "Yes", answer questions a - e. If "No", go to Section 15.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

15. Impact on Noise, Odor, and Light
 The proposed action may result in an increase in noise, odors, or outdoor lighting. NO YES
 (See Part 1. D.2.m., n., and o.)
 If "Yes", answer questions a - f. If "No", go to Section 16.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input checked="" type="checkbox"/>	<input type="checkbox"/>

d. The proposed action may result in light shining onto adjoining properties.	D2n	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

16. Impact on Human Health			
The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.) <i>If "Yes", answer questions a - m. If "No", go to Section 17.</i>		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____ _____			

17. Consistency with Community Plans
 The proposed action is not consistent with adopted land use plans. NO YES
 (See Part 1. C.1, C.2. and C.3.)
 If "Yes", answer questions a - h. If "No", go to Section 18.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action's land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input type="checkbox"/>	<input type="checkbox"/>
h. Other: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

18. Consistency with Community Character
 The proposed project is inconsistent with the existing community character. NO YES
 (See Part 1. C.2, C.3, D.2, E.3)
 If "Yes", answer questions a - g. If "No", proceed to Part 3.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

PRINT FULL FORM

Full Environmental Assessment Form
Part 3 - Evaluation of the Magnitude and Importance of Project Impacts
and
Determination of Significance

Part 3 provides the reasons in support of the determination of significance. The lead agency must complete Part 3 for every question in Part 2 where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.

Based on the analysis in Part 3, the lead agency must decide whether to require an environmental impact statement to further assess the proposed action or whether available information is sufficient for the lead agency to conclude that the proposed action will not have a significant adverse environmental impact. By completing the certification on the next page, the lead agency can complete its determination of significance.

Reasons Supporting This Determination:

To complete this section:

- Identify the impact based on the Part 2 responses and describe its magnitude. Magnitude considers factors such as severity, size or extent of an impact.
- Assess the importance of the impact. Importance relates to the geographic scope, duration, probability of the impact occurring, number of people affected by the impact and any additional environmental consequences if the impact were to occur.
- The assessment should take into consideration any design element or project changes.
- Repeat this process for each Part 2 question where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.
- Provide the reason(s) why the impact may, or will not, result in a significant adverse environmental impact
- For Conditional Negative Declarations identify the specific condition(s) imposed that will modify the proposed action so that no significant adverse environmental impacts will result.
- Attach additional sheets, as needed.

In each section below, the Lead Agency has identified the Part II responses for impacts identified as "Potentially Moderate to Large." For each such response, the magnitude and importance of the impact is discussed, and reasons are presented why the impact will not result in a significant adverse environmental impact.

1. Impact on Land: The proposed action may involve construction on slopes 15% or greater.

This neighborhood house of worship project will install a parking lot at the rear of the site which will require the leveling of a steep area, and the construction of two, stepped retaining walls. The magnitude and importance of the impact will be minor with no significant adverse impacts. The impact of the wall installations will be mitigated by the extensive landscaping at the top and bottom of each wall segment, as required by the Village's new local law. The parking lot impacts will be mitigated by a stormwater management program reviewed and approved by the Village Engineer, so that there will be net zero runoff.

13. Impact on Transportation: (a) Projected traffic increase may exceed capacity of existing road network; and (e) The proposed action may alter the present pattern of movement of people or goods.

This neighborhood house of worship project will provide twelve off-street parking spaces, which the lead agency finds to be adequate to serve the everyday number of the users of the 2,391 square foot sanctuary. The magnitude and importance of the impact will be minor with no significant adverse impacts. For times that on-street parking may be needed if the parking lot is full, the lead agency, the Village Board, will enact restrictions to only allow on-street parking on one side of Halley Drive, to ensure that the capacity of the street will not be adversely reduced, and smooth passage of emergency vehicles will be maintained. On Sabbaths and other Holy Days when driving is prohibited, worshipers will access the site by foot.

15. Impact on Noise, Odor, and Light: (d) The proposed action may result in light shining onto adjoining properties. The applicant has provided the lead agency with a lighting plan that shows that either zero or 0.1 footcandles of light will spill onto neighboring properties. The magnitude and importance of the impact will be minor with no significant adverse impacts. Luminaries are specified with a color temperature of 3000K or less, so that only warm light will be produced.

18. Consistency with Community Character: (e) The proposed action is inconsistent with the predominant architectural scale and character. The proposed building size will be 9,122 square feet. This is somewhat larger than the surrounding single family homes, but not unduly so. The magnitude and importance of the impact will be minor with no significant adverse impacts. Case law in New York State holds that neighborhood places of worship are deemed to be inherently beneficial to the surrounding residential uses.

Determination of Significance - Type 1 and Unlisted Actions

SEQR Status: Type 1 Unlisted

Identify portions of EAF completed for this Project: Part 1 Part 2 Part 3

Upon review of the information recorded on this EAF, as noted, plus this additional support information

and considering both the magnitude and importance of each identified potential impact, it is the conclusion of the
Village of Pomona Board of Trustees _____ as lead agency that:

A. This project will result in no significant adverse impacts on the environment, and, therefore, an environmental impact statement need not be prepared. Accordingly, this negative declaration is issued.

B. Although this project could have a significant adverse impact on the environment, that impact will be avoided or substantially mitigated because of the following conditions which will be required by the lead agency:

There will, therefore, be no significant adverse impacts from the project as conditioned, and, therefore, this conditioned negative declaration is issued. A conditioned negative declaration may be used only for UNLISTED actions (see 6 NYCRR 617.7(d)).

C. This Project may result in one or more significant adverse impacts on the environment, and an environmental impact statement must be prepared to further assess the impact(s) and possible mitigation and to explore alternatives to avoid or reduce those impacts. Accordingly, this positive declaration is issued.

Name of Action: Congregation Pomona Heights, 60 Halley Drive

Name of Lead Agency: Village of Pomona Board of Trustees

Name of Responsible Officer in Lead Agency: Ian Banks

Title of Responsible Officer: Mayor

Signature of Responsible Officer in Lead Agency:

Date:

Signature of Preparer (if different from Responsible Officer) Jonathan Lockman

Date:

10-20-22

For Further Information:

Contact Person: Jonathan Lockman, Village Planner

Address: Nelson, Pope & Voorhis, 156 Route 59, Suite C6, Suffern, NY 10901

Telephone Number: 1-845-368-1472, ext 104

E-mail: jlockman@nelsonpope.com

For Type 1 Actions and Conditioned Negative Declarations, a copy of this Notice is sent to:

Chief Executive Officer of the political subdivision in which the action will be principally located (e.g., Town / City / Village of)

Other involved agencies (if any)

Applicant (if any)

Environmental Notice Bulletin: <http://www.dec.ny.gov/enb/enb.html>

PRINT FULL FORM



Memorandum

To: Village of Pomona Board of Trustees
Village of Pomona Planning Board
Technical Advisory Committee

From: Jonathan T. Lockman, AICP

Re: Congregation Tiferes Tefillah, 7 Hidden Valley Drive
SBL# 32.15-1-5

Date: October 20, 2022

cc: Martin Spence, P.E.
Stephen M. Honan, Esq., Attorney
Chakiera Locust, Clerk
Lou Zummo, Building Inspector
Ira Emanuel, Esq. (for the Applicant)

We are in receipt of the following materials for a Planning Board application from Yehuda Ari Levitan for the development of a Neighborhood House of Worship for Congregation Tiferes Tefillah, at 7 Hidden Valley Drive.

Received and reviewed for this memorandum:

- GML Review Letter, from Douglas Schuetz to Village Board, re: Congregation Tiferes Tefillah, dated September 22, 2022.
- Responses to GML Comments, Letter from Ira Emanuel, Esq., to Mayor Banks and Trustees, dated October 19, 2022.
- FEAF Part 1 form, with EAF Mapper output, signed by Yehuda Levitan, dated 10/13/22.
- Package of Lighting Fixture cut sheets, RAB Lighting, undated.
- Site Plan Set, 7 sheets, stamped by Steven Michael Sparaco, P.E., with latest revision date of 10/14//2022, as follows:
 - 1, Planimetric Plan
 - 2, Grading & Utility and Erosion & Sediment Control Plan
 - 3, Lighting Plan
 - 4,5 Details Sheets I and 2
 - L-701, Planting Plan, stamped by Blythe Yost, RLA, dated October 12, 2022.
 - 1, Survey Map, stamped by Stephen Dolson, P.L.S., Civil Tec, dated 7/07/20.
- Architectural Plan Set, 5 sheets, entitled "Tiferes Tefillah Shul," unstamped, by William Bateman, RA, dated 10/06/22, as follows:
 - A-1, Front & Right Exterior Elevations
 - A-2, Rear & Left Exterior Elevations
 - A-3, Basement Floor Plan
 - A-4, First Floor Plan
 - A-5, Second Floor Plan

Project Summary

The subject lot currently contains a 1 story residence, and it is located in the R-40 zoning district on the north side of Hidden Valley Drive, across from the intersection with Sunset Terrace. The lot has an area of 41,750 gross sf. No wetlands or floodplains are present. The applicant plans to demolish the existing home and to construct a neighborhood house of worship with 9,993 sf.

Submission Comments

1. A revised set of floor plans for all levels has been provided. Per comment 1 of our previous memorandum, a warming kitchen is now shown on the basement floorplan.
2. Per comment 2 of our previous memorandum, lighting details including cut sheets for fixtures and photometric light spread are now provided, in compliance with §130-10.H(7). See sheet 3.
3. Per comment 3 of our previous memorandum, a landscape plan by Blythe Yost, RLA, has been provided. See sheet L-701.

Zoning Comments

4. A neighborhood house of worship is a permitted use **subject to special permit approval** by the Village Board of Trustees, pursuant to §130-10.H. The Village Board opened a Public Hearing on the special permit application on September 19th at 8:00 pm.
5. The definition of neighborhood house of worship is as follows:
HOUSE OF WORSHIP, NEIGHBORHOOD A building or buildings with a combined gross floor area of 10, 000 square feet or less, whose principal use is intended primarily for the conduct of organized or regularly scheduled religious services.
The proposed building size of 9,976 sf. complies with this definition.
6. A Bulk Requirements Table has been provided on the Site Development Plan, sheet 1, showing the required standards of the R-40 District, and proposed bulk standards provided.
 - a. The proposed height is now shown as 28 feet 10 inches, per our previous comment 6 a.
 - b. The required side yard is 25 feet. Per our previous comment 6b, the proposed rear stairway and wood deck have been relocated in compliance with this requirement.
 - c. **We find that the northwest corner of the parking lot is 6 feet from the side property line and does not comply with the minimum 10-foot requirement of §130-10.H(5).**
7. Parking requirements are based on a total area of the sanctuary or hall where services are conducted. The stated area of the main sanctuary floor is 2802 sf. This would yield a requirement of 14.01 spaces. Fifteen paved parking spaces are proposed with 9 overflow spaces on the grass. This is presumably designed to keep the proposed impervious surfaces coverage below 50%. **The Village Board and Planning Board should consider whether parking is adequate and meets standards.**

Planning Comments

8. Concurrent with its issuance of a special permit, **the Village Board of Trustees may prohibit on-street parking on one side of the Hidden Valley Drive** within 750 feet of the synagogue's main entrance, to ensure adequate room for passage of emergency vehicles, during times when on-

street parking may occur. **We recommend that the Village Board implement a parking ban on one side of Hidden Valley Drive.**

9. The Rockland County Planning Board has provided a GML Review. The applicant has indicated in a response that they will comply with all County requirements.

SEQRA Comments

10. A new FEAF Part 1 long form has been provided, as recommended by the County GML Review. The Village Board has notified its intent to act as Lead Agency for the Special Permit Application. **No objection has been filed, so the Village Board may act as Lead Agency.** We will provide the Village Board with a Part II form and negative declaration for its consideration.

Please let me know if you have any questions or comments regarding this review.

Items Previously Reviewed

Items Reviewed for our Previous Memorandum, dated September 15, 2022:

- Narrative Summary for Planning Board, RE: Congregation Tiferes Tefillah, by Ira M. Emanuel, Esq., Emanuel Law P.C., dated September 8, 2022.
- Narrative Summary for Board of Trustees, RE: Congregation Tiferes Tefillah, by Ira M. Emanuel, Esq., Emanuel Law P.C., dated August 4, 2022.
- Special Permit Application package, to Village Board for a Neighborhood House of Worship, signed by Yehuda Ari Leviton, dated 19 July 2022.
- Planning Board Site Plan Application package, to Planning Board, for a Neighborhood Place of Worship, signed by Yehuda Ari Leviton for Cong. Tiferes Tefillah, dated 31 August 2022.
- Public Hearing Notice, House of Worship, 7 Hidden Valley Road, for September 19, 2022, at 8:00 P.M., to consider a Special Permit Application
- Drainage Report, RE: 7 Hidden Valley Drive, to Rabbi Yehuda Levitan, from Steven Sparaco, P.E., Sparaco & Youngblood, PLLC, dated July 7, 2022.
- SEAF form Part1, signed by Cong. Tiferes Tefillah, dated 8/5/22.
- Site Plan Set, 6 sheets, stamped by Steven Michael Sparaco, P.E., with latest revision date of 7/28/2022, as follows:
 - 1, Planimetric Plan
 - 2, Grading & Utility and Erosion & Sediment Control Plan
 - 3, Landscape Plan
 - 4,5 Details Sheets I and 2
 - 1, Survey Map, stamped by Stephen Dolson, P.L.S., Civil Tec, dated 7/07/20/
- Architectural Plan Set, 5 sheets, entitled "Tiferes Tefillah Shul," unstamped, by William Bateman, RA, dated 8/16/22, as follows:
 - A-1, Front & Right Exterior Elevations
 - A-2, Rear & Left Exterior Elevations
 - A-3, Basement Floor Plan
 - A-4. First Floor Plan
 - A-5, Second Floor Plan

Full Environmental Assessment Form
Part 2 - Identification of Potential Project Impacts

Agency Use Only [If applicable]
 Project : Cong. Tiferes Teffillah 7 Hidden Valley
 Date : October 24, 2022

Part 2 is to be completed by the lead agency. Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency's reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency and the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

Tips for completing Part 2:

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer "Yes" to a numbered question, please complete all the questions that follow in that section.
- If you answer "No" to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box "Moderate to large impact may occur."
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the "whole action".
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

1. Impact on Land Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1) <i>If "Yes", answer questions a - j. If "No", move on to Section 2.</i>			
	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES	
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

2. Impact on Geological Features

The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g)

NO

YES

If "Yes", answer questions a - c. If "No", move on to Section 3.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____ _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

3. Impacts on Surface Water

The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h)

NO

YES

If "Yes", answer questions a - l. If "No", move on to Section 4.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input type="checkbox"/>	<input type="checkbox"/>

I. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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4. Impact on groundwater The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer. <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t) <i>If "Yes", answer questions a - h. If "No", move on to Section 5.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

5. Impact on Flooding The proposed action may result in development on lands subject to flooding. <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. E.2) <i>If "Yes", answer questions a - g. If "No", move on to Section 6.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in development in a designated floodway.	E2i	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e	<input type="checkbox"/>	<input type="checkbox"/>

g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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6. Impacts on Air The proposed action may include a state regulated air emission source. <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. D.2.f., D.2.h, D.2.g) <i>If "Yes", answer questions a - f. If "No", move on to Section 7.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels:			
i. More than 1000 tons/year of carbon dioxide (CO ₂)	D2g	<input type="checkbox"/>	<input type="checkbox"/>
ii. More than 3.5 tons/year of nitrous oxide (N ₂ O)	D2g	<input type="checkbox"/>	<input type="checkbox"/>
iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs)	D2g	<input type="checkbox"/>	<input type="checkbox"/>
iv. More than .045 tons/year of sulfur hexafluoride (SF ₆)	D2g	<input type="checkbox"/>	<input type="checkbox"/>
v. More than 1000 tons/year of carbon dioxide equivalent of hydrochloroflourocarbons (HFCs) emissions	D2g	<input type="checkbox"/>	<input type="checkbox"/>
vi. 43 tons/year or more of methane	D2h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

7. Impact on Plants and Animals The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <i>If "Yes", answer questions a - j. If "No", move on to Section 8.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input type="checkbox"/>	<input type="checkbox"/>

e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

8. Impact on Agricultural Resources			
The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.)		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - h. If "No", move on to Section 9.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1 a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

9. Impact on Aesthetic Resources
 The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.)
If "Yes", answer questions a - g. If "No", go to Section 10.

NO YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	E3h	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	E3h E2q, E1c	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 -3 mile 3-5 mile 5+ mile	D1a, E1a, D1f, D1g	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

10. Impact on Historic and Archeological Resources
 The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f. and g.)
If "Yes", answer questions a - e. If "No", go to Section 11.

NO YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on the National or State Register of Historical Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places.	E3e	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	E3g	<input type="checkbox"/>	<input type="checkbox"/>

d. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
e. If any of the above (a-d) are answered "Moderate to large impact may occur", continue with the following questions to help support conclusions in Part 3:			
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f	<input type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property's setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>

11. Impact on Open Space and Recreation
The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan. NO YES
(See Part 1. C.2.c, E.1.c., E.2.q.)
If "Yes", answer questions a - e. If "No", go to Section 12.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in an impairment of natural functions, or "ecosystem services", provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>
e. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

12. Impact on Critical Environmental Areas
The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d) NO YES
If "Yes", answer questions a - c. If "No", go to Section 13.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

13. Impact on Transportation

The proposed action may result in a change to existing transportation systems.

NO

YES

(See Part 1. D.2.j)

If "Yes", answer questions a - f. If "No", go to Section 14.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Other impacts: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

14. Impact on Energy

The proposed action may cause an increase in the use of any form of energy.

NO

YES

(See Part 1. D.2.k)

If "Yes", answer questions a - e. If "No", go to Section 15.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

15. Impact on Noise, Odor, and Light

The proposed action may result in an increase in noise, odors, or outdoor lighting.

NO

YES

(See Part 1. D.2.m., n., and o.)

If "Yes", answer questions a - f. If "No", go to Section 16.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input checked="" type="checkbox"/>	<input type="checkbox"/>

d. The proposed action may result in light shining onto adjoining properties.	D2n	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

16. Impact on Human Health

The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.)
If "Yes", answer questions a - m. If "No", go to Section 17.

NO YES

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____ _____			

17. Consistency with Community Plans
 The proposed action is not consistent with adopted land use plans. NO YES
 (See Part 1. C.1, C.2. and C.3.)
 If "Yes", answer questions a - h. If "No", go to Section 18.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action's land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input type="checkbox"/>	<input type="checkbox"/>
h. Other: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

18. Consistency with Community Character
 The proposed project is inconsistent with the existing community character. NO YES
 (See Part 1. C.2, C.3, D.2, E.3)
 If "Yes", answer questions a - g. If "No", proceed to Part 3.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

PRINT FULL FORM

Full Environmental Assessment Form
Part 3 - Evaluation of the Magnitude and Importance of Project Impacts
and
Determination of Significance

Part 3 provides the reasons in support of the determination of significance. The lead agency must complete Part 3 for every question in Part 2 where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.

Based on the analysis in Part 3, the lead agency must decide whether to require an environmental impact statement to further assess the proposed action or whether available information is sufficient for the lead agency to conclude that the proposed action will not have a significant adverse environmental impact. By completing the certification on the next page, the lead agency can complete its determination of significance.

Reasons Supporting This Determination:

To complete this section:

- Identify the impact based on the Part 2 responses and describe its magnitude. Magnitude considers factors such as severity, size or extent of an impact.
- Assess the importance of the impact. Importance relates to the geographic scope, duration, probability of the impact occurring, number of people affected by the impact and any additional environmental consequences if the impact were to occur.
- The assessment should take into consideration any design element or project changes.
- Repeat this process for each Part 2 question where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.
- Provide the reason(s) why the impact may, or will not, result in a significant adverse environmental impact
- For Conditional Negative Declarations identify the specific condition(s) imposed that will modify the proposed action so that no significant adverse environmental impacts will result.
- Attach additional sheets, as needed.

In each section below, the Lead Agency has identified the Part II responses for impacts identified as "Potentially Moderate to Large." For each such response, the magnitude and importance of the impact is discussed, and reasons are presented why the impact will not result in a significant adverse environmental impact.

13. Impact on Transportation: (a) Projected traffic increase may exceed capacity of existing road network; and (e) The proposed action may alter the present pattern of movement of people or goods.

This neighborhood house of worship project will provide fifteen off-street parking spaces and 9 land-banked parking spaces, which the lead agency finds to be adequate to serve the everyday number of the users of the 2,747 square foot sanctuary. The magnitude and importance of the impact will be minor with no significant adverse impacts. For times that on-street parking may be needed if the parking lot is full, the lead agency, the Village Board, will enact restrictions to only allow on-street parking on one side of Halley Drive, to ensure that the capacity of the street will not be adversely reduced, and smooth passage of emergency vehicles will be maintained. On Sabbaths and other Holy Days when driving is prohibited, worshippers will access the site by foot.

15. Impact on Noise, Odor, and Light: (d) The proposed action may result in light shining onto adjoining properties. The applicant has provided the lead agency with a lighting plan that shows that less than 0.1 foot-candles of light will spill onto neighboring properties. The magnitude and importance of the impact will be minor with no significant adverse impacts. Luminaries are specified with a color temperature of 3000K or less, so that only warm light will be produced.

18. Consistency with Community Character: (e) The proposed action is inconsistent with the predominant architectural scale and character. The proposed building size will be 9,993 square feet. This is somewhat larger than the surrounding single family homes, but not unduly so. The magnitude and importance of the impact will be minor with no significant adverse impacts. Case law in New York State holds that neighborhood places of worship are deemed to be inherently beneficial to the surrounding residential uses.

When applying to the Planning Board for site plan review, the applicant shall revise the site plan so that all driveways and parking areas are a minimum of ten feet from all property lines.

Determination of Significance - Type 1 and Unlisted Actions

SEQR Status: Type 1 Unlisted

Identify portions of EAF completed for this Project: Part 1 Part 2 Part 3

Upon review of the information recorded on this EAF, as noted, plus this additional support information

and considering both the magnitude and importance of each identified potential impact, it is the conclusion of the Village of Pomona Board of Trustees _____ as lead agency that:

A. This project will result in no significant adverse impacts on the environment, and, therefore, an environmental impact statement need not be prepared. Accordingly, this negative declaration is issued.

B. Although this project could have a significant adverse impact on the environment, that impact will be avoided or substantially mitigated because of the following conditions which will be required by the lead agency:

There will, therefore, be no significant adverse impacts from the project as conditioned, and, therefore, this conditioned negative declaration is issued. A conditioned negative declaration may be used only for UNLISTED actions (see 6 NYCRR 617.7(d)).

C. This Project may result in one or more significant adverse impacts on the environment, and an environmental impact statement must be prepared to further assess the impact(s) and possible mitigation and to explore alternatives to avoid or reduce those impacts. Accordingly, this positive declaration is issued.

Name of Action: Congregation Ohr Yaakov Shlomo, 43 Tamarack Drive

Name of Lead Agency: Village of Pomona Board of Trustees

Name of Responsible Officer in Lead Agency: Ian Banks

Title of Responsible Officer: Mayor

Signature of Responsible Officer in Lead Agency:

Date:

Signature of Preparer (if different from Responsible Officer) Jonathan Lockman

Date:

10-20-22

For Further Information:

Contact Person: Jonathan Lockman, Village Planner

Address: Nelson, Pope & Voorhis, 156 Route 59, Suite C6, Suffern, NY 10901

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For Type 1 Actions and Conditioned Negative Declarations, a copy of this Notice is sent to:

Chief Executive Officer of the political subdivision in which the action will be principally located (e.g., Town / City / Village of)
Other involved agencies (if any)

Applicant (if any)

Environmental Notice Bulletin: <http://www.dec.ny.gov/enb/enb.html>

PRINT FULL FORM



Memorandum

To: Village of Pomona Board of Trustees
Village of Pomona Planning Board
Technical Advisory Committee

From: Jonathan T. Lockman, AICP

Re: Congregation Ohr Yaakov Shlomo, 43 Tamarack Lane
SBL# 25.10-1-54

Date: October 20, 2022

cc: Martin Spence, P.E.
Stephen M. Honan, Esq., Attorney
Chakiera Locust, Clerk
Lou Zummo, Building Inspector
Shneur Levertov (for the Applicant)

We are in receipt of the following materials for a Planning Board application from Shneur Levertov for the development of a Neighborhood House of Worship for Congregation Ohr Yaakov Shlomo, at 43 Tamarack Lane.

Received and reviewed for this memorandum:

- Site Plan Set, 7 sheets, for Ohr Yaakov Shlomo, stamped by Paul Gdanski, P.E., dated August 8, 2022, with latest revision date of October 6, 2022, as follows;
 - 1, Planimetric Plan
 - 2, Grading and Utility Plan
 - 3, Landscaping Plan
 - 4, Lighting Plan
 - 5, Soil Erosion & Sediment Control Plan
 - 6, Existing Conditions Plan
 - 7, Detail Plan

Project Summary

The subject lot currently contains a two story residence, and it is located in the R-40 zoning district on the northeast side of Tamarack Lane. The lot has an area of 37,591 gross sf. No wetlands or floodplains are present. The applicant plans to add to the existing building and to convert it to a neighborhood house of worship with a total floor area of 8,013 sf.

Submission Comments

1. The lighting sheet has been modified per comments from our previous memorandum. The proposed photometric light spread is provided on Gdanski Sheet 4. See §130-10.H(7). The

maximum illumination level at the property lines shall be a maximum of 0.1 footcandles. It appears that areas along the property lines are illuminated to 0.5 footcandles, which exceeds this standard. In addition, the driveway should be 10 feet from the property line. If the driveway was moved slightly, it would help with the light spillage problem, as the lighting could be moved farther from the side property lines. See comment 7 below. We also note that our copy of the lighting plan did not include the isolines in color, as shown in the legend. Please adjust lighting plans accordingly.

Zoning Comments

2. A neighborhood house of worship is a permitted use subject to special permit approval by the Village Board of Trustees, pursuant to §130-10.H.
3. The definition of neighborhood house of worship is as follows:
HOUSE OF WORSHIP, NEIGHBORHOOD A building or buildings with a combined gross floor area of 10, 000 square feet or less, whose principal use is intended primarily for the conduct of organized or regularly scheduled religious services.
The proposed building size of 8,013 sf. complies with this definition.
4. A Bulk Requirements Table has been provided on the Gdanski sheet 1, showing the required standards of the R-40 District, and proposed bulk standards provided. All bulk standards appear to have been met. We note that net lot area calculations show deductions for easements and slopes. **These net lot area deductions were repealed by a recent local law, and these calculations should be removed from Gdanski sheet 1.**
5. Parking requirements are based on a total area of the sanctuary or hall where services are conducted. The stated area of the main sanctuary floor is 2700 sf., per the Narrative Summary and Floor Plan sheet A-3. This would yield a requirement of 14 spaces, and 14 spaces have been provided.
6. **Landscaping plans should show landscaping with a minimum installation height of 6 feet at the site perimeter. See §130-10.H(5). On sheet 3, the Plant Schedule is rotated sideways and cut off by the top margin. Please clarify submission.**
7. Section §130-10.H(5) requires that driveways be set back a minimum of 10 feet from all property lines, except as necessary to access the street. **It appears that the driveway edge is within six feet of the side property lines.**

Planning Comments

8. Concurrent with its issuance of a special permit, **the Village Board of Trustees may prohibit on-street parking on one side of the Tamarack Lane** within 750 feet of the synagogue's main entrance, to ensure adequate room for passage of emergency vehicles, during times when on-street parking may occur. **We recommend that the Village Board implement a parking ban on one side of Tamarack Lane.**

SEQRA Comments

9. The Village Board has notified its intent to act as Lead Agency for the Special Permit Application. **No objection has been filed, so the Village Board may act as Lead Agency.** We will provide the Village Board with a Part II form and negative declaration for its consideration.

Please let me know if you have any questions or comments regarding this review.

Items Previously Reviewed:**Items Reviewed for our Previous Memorandum, dated September 15, 2022:**

- Narrative Summary, RE: Ohr Yaakov Shlomo, Inc., unsigned, undated.
- Special Permit Application package, to Village Board for a Neighborhood House of Worship, signed by Shneur Levertov, dated 8 September 2022.
- SEAF form Part 1, signed by Shneur Levertov, dated September 6, 2022.
- Planning Board Site Plan Application package, to Planning Board, to convert residence to a house of worship, by Shneur Levertov, unsigned, dated 09/06/22.
- Architectural Plan Set, 12 sheets, entitled "43 Tamarack Lane," unstamped, by DrawRITE, dated 04/28/22, as follows:
 - T-1, East Elevation, Index
 - A-1, Foundation Plan
 - A-2, Basement Plan
 - A-3, First Floor Plan, Second Floor Plan
 - A-4, Roof Plan
 - A-5, South & North Elevations
 - A-6, East & West Elevations
 - A-7, Section and Window Elevations
 - A-8, Finish Schedule, Options 1 and 2.
 - E-P, Basement, First & Second Floor Electrical Plan, Vent and Waste Riser Diagram
 - C-1, Notes and Tables, Deck Attachment Details
 - C-2, Details
- Site Plan Set, 7 sheets, Ohr Yaakov Shlomo, stamped by Paul Gdanski, P.E., dated August 8, 2022, as follows;
 - 1, Planimetric Plan
 - 2, Grading and Utility Plan
 - 3, Landscaping Plan
 - 4, Lighting Plan
 - 5, Soil Erosion & Sediment Control Plan
 - 6, Existing Conditions Plan
 - 7, Details

Full Environmental Assessment Form
Part 2 - Identification of Potential Project Impacts

Agency Use Only [If applicable]
 Project: Cong. Ohr Yaakov Shlomo 43 Tamarack
 Date: October 24, 2022

Part 2 is to be completed by the lead agency. Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency's reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency and the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

Tips for completing Part 2:

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer “Yes” to a numbered question, please complete all the questions that follow in that section.
- If you answer “No” to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box “Moderate to large impact may occur.”
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the “whole action”.
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

1. Impact on Land Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1) <i>If “Yes”, answer questions a - j. If “No”, move on to Section 2.</i>			
		<input type="checkbox"/> NO	<input checked="" type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input checked="" type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

2. Impact on Geological Features
 The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g) NO YES
If "Yes", answer questions a - c. If "No", move on to Section 3.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Identify the specific land form(s) attached: _____ _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

3. Impacts on Surface Water
 The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h) NO YES
If "Yes", answer questions a - l. If "No", move on to Section 4.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may create a new water body.	D2b, D1h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input type="checkbox"/>	<input type="checkbox"/>

l. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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4. Impact on groundwater
 The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer. NO YES
 (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t)
If "Yes", answer questions a - h. If "No", move on to Section 5.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

5. Impact on Flooding
 The proposed action may result in development on lands subject to flooding. NO YES
 (See Part 1. E.2)
If "Yes", answer questions a - g. If "No", move on to Section 6.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in development in a designated floodway.	E2i	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e	<input type="checkbox"/>	<input type="checkbox"/>

g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
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6. Impacts on Air
 The proposed action may include a state regulated air emission source. NO YES
 (See Part 1. D.2.f., D.2.h, D.2.g)
If "Yes", answer questions a - f. If "No", move on to Section 7.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels: i. More than 1000 tons/year of carbon dioxide (CO ₂) ii. More than 3.5 tons/year of nitrous oxide (N ₂ O) iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs) iv. More than .045 tons/year of sulfur hexafluoride (SF ₆) v. More than 1000 tons/year of carbon dioxide equivalent of hydrochloroflourocarbons (HFCs) emissions vi. 43 tons/year or more of methane	D2g D2g D2g D2g D2g D2h	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

7. Impact on Plants and Animals
 The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.) NO YES
If "Yes", answer questions a - j. If "No", move on to Section 8.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input type="checkbox"/>	<input type="checkbox"/>

e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

8. Impact on Agricultural Resources			
The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.)		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - h. If "No", move on to Section 9.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1 a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

9. Impact on Aesthetic Resources

The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.)

NO

YES

If "Yes", answer questions a - g. If "No", go to Section 10.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	E3h	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	E3h E2q, E1c	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 -3 mile 3-5 mile 5+ mile	D1a, E1a, D1f, D1g	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

10. Impact on Historic and Archeological Resources

The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f. and g.)

NO

YES

If "Yes", answer questions a - e. If "No", go to Section 11.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on the National or State Register of Historical Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places.	E3e	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	E3g	<input type="checkbox"/>	<input type="checkbox"/>

d. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
e. If any of the above (a-d) are answered "Moderate to large impact may occur", continue with the following questions to help support conclusions in Part 3:			
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f	<input type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property's setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>

11. Impact on Open Space and Recreation			
The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan. (See Part 1. C.2.c, E.1.c., E.2.q.) <i>If "Yes", answer questions a - e. If "No", go to Section 12.</i>		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in an impairment of natural functions, or "ecosystem services", provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b, E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c, E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>
e. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

12. Impact on Critical Environmental Areas			
The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d) <i>If "Yes", answer questions a - c. If "No", go to Section 13.</i>		<input checked="" type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

13. Impact on Transportation
 The proposed action may result in a change to existing transportation systems. NO YES
 (See Part 1. D.2.j)
If "Yes", answer questions a - f. If "No", go to Section 14.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input type="checkbox"/>	<input checked="" type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Other impacts: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

14. Impact on Energy
 The proposed action may cause an increase in the use of any form of energy. NO YES
 (See Part 1. D.2.k)
If "Yes", answer questions a - e. If "No", go to Section 15.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

15. Impact on Noise, Odor, and Light
 The proposed action may result in an increase in noise, odors, or outdoor lighting. NO YES
 (See Part 1. D.2.m., n., and o.)
If "Yes", answer questions a - f. If "No", go to Section 16.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input checked="" type="checkbox"/>	<input type="checkbox"/>

d. The proposed action may result in light shining onto adjoining properties.	D2n	<input type="checkbox"/>	<input checked="" type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

16. Impact on Human Health

The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.)

NO YES

If "Yes", answer questions a - m. If "No", go to Section 17.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____ _____			

17. Consistency with Community Plans

The proposed action is not consistent with adopted land use plans.
(See Part 1. C.1, C.2. and C.3.)

NO

YES

If "Yes", answer questions a - h. If "No", go to Section 18.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action's land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input type="checkbox"/>	<input type="checkbox"/>
h. Other: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

18. Consistency with Community Character

The proposed project is inconsistent with the existing community character.
(See Part 1. C.2, C.3, D.2, E.3)

NO

YES

If "Yes", answer questions a - g. If "No", proceed to Part 3.

	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input checked="" type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input checked="" type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input checked="" type="checkbox"/>	<input type="checkbox"/>
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input type="checkbox"/>	<input checked="" type="checkbox"/>
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input checked="" type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input checked="" type="checkbox"/>	<input type="checkbox"/>

PRINT FULL FORM

Full Environmental Assessment Form
Part 3 - Evaluation of the Magnitude and Importance of Project Impacts
and
Determination of Significance

Part 3 provides the reasons in support of the determination of significance. The lead agency must complete Part 3 for every question in Part 2 where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.

Based on the analysis in Part 3, the lead agency must decide whether to require an environmental impact statement to further assess the proposed action or whether available information is sufficient for the lead agency to conclude that the proposed action will not have a significant adverse environmental impact. By completing the certification on the next page, the lead agency can complete its determination of significance.

Reasons Supporting This Determination:

To complete this section:

- Identify the impact based on the Part 2 responses and describe its magnitude. Magnitude considers factors such as severity, size or extent of an impact.
- Assess the importance of the impact. Importance relates to the geographic scope, duration, probability of the impact occurring, number of people affected by the impact and any additional environmental consequences if the impact were to occur.
- The assessment should take into consideration any design element or project changes.
- Repeat this process for each Part 2 question where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.
- Provide the reason(s) why the impact may, or will not, result in a significant adverse environmental impact
- For Conditional Negative Declarations identify the specific condition(s) imposed that will modify the proposed action so that no significant adverse environmental impacts will result.
- Attach additional sheets, as needed.

In each section below, the Lead Agency has identified the Part II responses for impacts identified as "Potentially Moderate to Large." For each such response, the magnitude and importance of the impact is discussed, and reasons are presented why the impact will not result in a significant adverse environmental impact.

13. Impact on Transportation: (a) Projected traffic increase may exceed capacity of existing road network; and (e) The proposed action may alter the present pattern of movement of people or goods.

This neighborhood house of worship project will provide fourteen off-street parking spaces, which the lead agency finds to be adequate to serve the everyday number of the users of the 2,700 square foot sanctuary. The magnitude and importance of the impact will be minor with no significant adverse impacts. For times that on-street parking may be needed if the parking lot is full, the lead agency, the Village Board, will enact restrictions to only allow on-street parking on one side of Halley Drive, to ensure that the capacity of the street will not be adversely reduced, and smooth passage of emergency vehicles will be maintained. On Sabbaths and other Holy Days when driving is prohibited, worshippers will access the site by foot.

15. Impact on Noise, Odor, and Light: (d) The proposed action may result in light shining onto adjoining properties. The applicant has provided the lead agency with a lighting plan that shows that minimal light will spill onto neighboring properties. The magnitude and importance of the impact will be minor with no significant adverse impacts. Luminaries are specified with a color temperature of 3000K or less, so that only warm light will be produced.

18. Consistency with Community Character: (e) The proposed action is inconsistent with the predominant architectural scale and character. The proposed building size will be 8,013 square feet. This is somewhat larger than the surrounding single family homes, but not unduly so. The magnitude and importance of the impact will be minor with no significant adverse impacts. Case law in New York State holds that neighborhood places of worship are deemed to be inherently beneficial to the surrounding residential uses.

When applying to the Planning Board for site plan review, the applicant shall: (1) Submit a lighting plan that clearing indicates that a maximum of 0.1 footcandles of illumination will be shining onto adjacent properties, at the property lines; (2) Submit landscaping plans that clearly show a minimum installation height of 6 feet at the site perimeter, as required in sec. 130-10.H(5) of the Village Code; and (3) Revise the site plan so that all driveways and parking areas are a minimum of ten feet from all property lines.

Determination of Significance - Type 1 and Unlisted Actions

SEQR Status: Type 1 Unlisted

Identify portions of EAF completed for this Project: Part 1 Part 2 Part 3

Upon review of the information recorded on this EAF, as noted, plus this additional support information

and considering both the magnitude and importance of each identified potential impact, it is the conclusion of the
Village of Pomona Board of Trustees _____ as lead agency that:

A. This project will result in no significant adverse impacts on the environment, and, therefore, an environmental impact statement need not be prepared. Accordingly, this negative declaration is issued.

B. Although this project could have a significant adverse impact on the environment, that impact will be avoided or substantially mitigated because of the following conditions which will be required by the lead agency:

There will, therefore, be no significant adverse impacts from the project as conditioned, and, therefore, this conditioned negative declaration is issued. A conditioned negative declaration may be used only for UNLISTED actions (see 6 NYCRR 617.7(d)).

C. This Project may result in one or more significant adverse impacts on the environment, and an environmental impact statement must be prepared to further assess the impact(s) and possible mitigation and to explore alternatives to avoid or reduce those impacts. Accordingly, this positive declaration is issued.

Name of Action: Congregation Ohr Yaakov Shlomo, 43 Tamarack Drive

Name of Lead Agency: Village of Pomona Board of Trustees

Name of Responsible Officer in Lead Agency: Ian Banks

Title of Responsible Officer: Mayor

Signature of Responsible Officer in Lead Agency:

Date:

Signature of Preparer (if different from Responsible Officer) Jonathan Lockman

Date:

10-20-22

For Further Information:

Contact Person: Jonathan Lockman, Village Planner

Address: Nelson, Pope & Voorhis, 156 Route 59, Suite C6, Suffern, NY 10901

Telephone Number: 1-845-368-1472, ext 104

E-mail: jlackman@nelsonpope.com

For Type 1 Actions and Conditioned Negative Declarations, a copy of this Notice is sent to:

Chief Executive Officer of the political subdivision in which the action will be principally located (e.g., Town / City / Village of)

Other involved agencies (if any)

Applicant (if any)

Environmental Notice Bulletin: <http://www.dec.ny.gov/enb/enb.html>

PRINT FULL FORM



TO: Village of Pomona, Planning Board (TAC)
FROM: Martin K. Spence, PE Village Engineer
DATE: October 17, 2022
RE: 60 Halley Drive Tax Map Reference 25.09-1-33
Site Plan Application Neighborhood House of Worship

Martin K. Spence

We have received the following regarding the subject application:

- Application Review Form
- Narrative Summary Congregation Pomona Heights (no date)
- Grading, Utility and Soil Erosion Plan, Site Plan, Dwg 1 of 5 as prepared by Paul Gdanski, PE last revised 10/4/22
- Lighting Plan, Dwg 2 of 5 as prepared by Paul Gdanski, PE last revised 10/4/22
- Soil Erosion Plan Dwg 3 of 5 as prepared by Paul Gdanski, PE last revised 10/4/22
- Slope Analysis Plan Dwg 4 of 5 as prepared by Paul Gdanski, PE last revised 10/4/22
- Detail Sheet Dwg 5 of 5 as prepared by Paul Gdanski, PE last revised 10/4/22
- Conceptual Plan, (Landscape) as prepared by Yost Design, dated July 21, 2022
- Set of Architectural Plans, 10 sheets as prepared by William Bateman Architect dated 8/17/2022

It is noted that the landscape plan has not been revised with the more recent engineering revisions.

The application consists of submitting a Site Plan for the development of a Neighborhood House of Worship. These plans have been revised since the TAC meeting on September 22, 2022.

We offer the following:

The owner/applicant in this matter is:
Cong Pomona Heights/Shimon Galandauer
60 Halley Drive
Pomona, NY 10970

The project consists of the development of the property including an addition to the existing dwelling and parking areas at the rear yard with an one way ingress at the west and one way egress at the east. A series of retaining walls are being constructed along the rear and side lot lines including tiered walls with maximum wall heights of 15' (which require a waiver from the Planning Board for walls in excess of 10'). The rear yard will be filled upto heights of twenty-five (25') to provide grading for the driveway and parking.

Generally, the entire lot 40,250 SF (0.92) acres will be disturbed, however not require a SWPPP due to less than 1.0 acre of disturbance. However, robust soil erosion measures shall be required due to the extent of soil movements and slope of the lot.

At the TAC meeting it was discussed with this applicant as well as other House of Worship applications to develop standards for development as an attempt to maintain the residential character of the areas. These standards or details including using Belgian block curbing, providing walkways/paths from the street front to the front of the structure with low bollard style lighting and a front hardscape drop off / pick up areas, as well as landscaping. Applicants generally accepted the recommendations.

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**Engineering Comments:
Grading, Utility & Soil Erosion Plan, Site Plan**

- S-1. Extend walkway in a NE direction to provide a drop off / pick up area along the frontage.
- S-2. Label and show walkway as 5' width.
- S-3. Label Belgian block curbing on plan.
- S-4. Provide willingness to serve (change of use) from water company and permits from sewer authority.
- S-5. Drainage calculations provided do not account for the land use change where trees are being removed and lawn areas are shown. Provide soil percolation rates as part of drywell design in fill areas.
- S-6. Drywells within traffic areas or excessive fill areas shall be traffic rated, review and revise note accordingly. Review spacing out drywells.
- S-7. Provide retaining wall elevations, sections and details, including width between tiers. Fencing at top of walls shall be provided where in close proximity to usage areas.
- S-8. Provide Planning Board wall material specifications (type of wall, color). The wall will be visible from the sides and the rear. Lower rear wall is constructed along the easement with minimal area to provide new screening.
- S-9. Retaining wall detail (max wall height 8') is not consistent with maximum height of walls shown on plan (15'). Review and revise accordingly. These are major retaining walls and any application for building permits will require a structural engineering design of the wall systems including tiered and surcharges.
- S-10. Outside agency and utilities reviews shall be responded to including any increase in existing pipe size.
- S-11. Label proposed contours (with elevations) for clarity.

Lighting Plan

- S-12. Show light pole base detail.
- S-13. Provide unit "K" on Note 1.
- S-14. Show bollards along walkway to frontage to provide minimal safety lighting.

Landscaping Plan

- S-15. Provide landscaping to screen hot box from street. Access shall be from driveway or rear yard side.
- S-16. Existing trees shown to be removed may be impacted by wall / site construction. Add notes regarding replacement trees as well as supplemental landscaping may be requested to meet the spirit of the approvals.
- S-17. Review if deciduous trees can be planted on the site, within parking islands and along the drive aisle.
- S-18. Landscaping is shown within the 10' wide drainage easement along the rear property line at the bottom of wall. See prior note about wall exposure. Trees may not be permissible within easement. At the TAC meeting there was discussion of ivy or vine type planting.

Detail Sheet

- S-19. Chain link fence detail shall provide note of dark hued vinyl coating for all components, fabric and posts/rails.

END OF REPORT



TO: Village of Pomona, Planning Board (TAC)
FROM: Martin K. Spence, PE Village Engineer
DATE: October 21, 2022
RE: 31 High Mountain Road Tax Map Reference 25.06-1-10
Steep Slope Site Plan Submittal

Martin K. Spence

We have received the following regarding the subject application:

- Application Form
- Building Permit Plan, Dwg 1 of 2 as prepared by Civil Tec last revised October 7, 2022
- Details, Dwg 2 of 2 as prepared by Civil Tec last revised October 7, 2022
- Set of Architectural Plans, as prepared by BILD Architecture dated 1/17/2022
- Tree Location Plan, (T-100) as prepared by Yost Design, dated May 23, 2022
- Conceptual Plan, (CP-101) as prepared by Yost Design, last revised October 4, 2022
- Lighting Plan, sheet 1 of 1, as prepared by Cyclone Lighting, dated October 6, 2022

The application consists of constructing a dwelling and site improvements including pool and site work. The application is submitted for Site Plan Approval due to disturbance of steep slopes under Chapter 119.

We offer the following:

The owner in this matter is:

Ahron Halpern
28 High Mountain Road
Pomona, NY 10970

The applicant/agent for the owner in this matter is:
Shimon Galandauer

Engineering Comments:

- S-1. Clarify if there are existing utility connections behind the curb line from the previous dwelling.
- S-2. Provide detail drainage design supported by test pits for soil characteristics and presence of rock. Design should include any sub-drainage areas such as driveway connected to a single drywell.
- S-3. Provide notes all roof drains shall be connected to the subsurface drainage system and roof drain piping shall be minimum SDR 35 pipe material.
- S-4. Show steep slope plan showing locations of slope categories to show disturbances and support slope analysis calculations.
- S-5. Provide retaining wall elevations, sections, materials and details, including width between tiers. Walls directly along the property line may offer challenges on constructability as a result of footing locations and excavations. Provide general details where final details and calculations will be required as part of any building permit submittal.
- S-6. Show light pole proposed at the driveway near the ROW.
- S-7. Provide a detail of the light pole, including the height.

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SESC Plan:

S-8. Show area (SF and acres) of total disturbance.

Landscaping Plans:

S-9. Show complete outline of building and site improvements/grading and show trees to be removed with "X". This can be part of the engineering set or landscape plan set. Tree Location Plan shows outline of house only, provide walls and hardscape locations. Trees shown to remain at the NW corner are subject to an 8' grade change and wall construction. This tree loss should be implemented into the tree removals and proposed landscaping plans.

S-10. Further develop landscape plan schedules and notes. New trees along the frontage should be consistent with the subdivision requirements (size and species).

Lighting Plan

S-11. It is noted that the proposed light location provides 1.2 foot-candles beyond the property line, to approximately 0.1 foot-candles toward the centerline of High Mountain Road.

END OF REPORT



TO: Village of Pomona, Planning Board
FROM: Martin K. Spence, PE Village Engineer
DATE: October 25, 2022
RE: 7 Hidden Valley Drive Tax Map Reference 32.15-1-5
Congregation Tiferes Tefillah
Site Plan Application Neighborhood House of Worship SE File 700-24

Martin K. Spence

We have received the following regarding the subject application:

- Application Review Form
- Narrative Summary as prepared by Ira Emanuel, Esq., dated 10/19/2022
- Set of Engineering Plans, 5 sheets as prepared by Sparaco and Youngblood, last revised 10/14/2022
- Planting Plan, 1 sheet as prepared by Yost Design, dated 10/12/2022
- Survey Map, 1 sheet as prepared by Civil Tec, last revised 9/29/2022
- Set of Architectural Plans, 5 sheets as prepared by William Bateman, last revised 10/06/2022
- Lighting Plan and cut sheets, as prepared by RAB, dated 10/12/2022
- EAF Parts 1 - 3,

The application consists of submitting a Site Plan for the development of a Neighborhood House of Worship.

We offer the following:

The applicant in this matter is:

Yehuda Ari Levitant for Congregation Tiferes Tefillah
9 Hidden Valley Drive
Suffern, NY

The project consists of the development of the property for a neighborhood house of worship. The existing dwelling will be removed and a new 2 story structure with a basement will be constructed. A single (two-way driveway along the east property line is proposed to access the rear parking lot.

Generally, the entire lot 41,750 SF (0.96) acres will be disturbed, however not require a SWPPP due to less than 1.0 acre of disturbance. However, robust soil erosion measures shall be required due to the extent of soil movements and disturbance.

Engineering Comments:

- S-1. Planning Board shall review type of curbing on Hidden Valley Drive (concrete versus Belgian block detailing).
- S-2. Board should review if concrete sidewalks along the frontage of the property be constructed at time of site development. The Village Board may provide statements on the desirability of sidewalks to serve the public.
- S-3. Provide willingness to serve (change of use) from water company and permits from sewer authority.
- S-4. Provide soil percolation rates of in-situ soils for proposed drainage system and updated drainage calculations.
- S-5. Show/clarify locations of ADA ramps for compliance to access building.
- S-6. What is status of the 2 FI discharge to at the West side of the proposed deck.

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- S-7. Provide detail of Inlet MH and provide open grate for water collection, set grate low and show swale.
- S-8. Extend silt fencing south alongside property lines and show double row of SF at rear limits.
- S-9. Field inlet protection (SESC) shall be provided at the existing CB at the NE property corner. Provide detail and note on plan.
- S-10. Provide retaining wall elevations, sections and details and materials. Provide a note that structural retaining wall calculations shall be submitted with the building permit application for all walls over ~~Q~~
~~MEK~~
- S-11. Outside agency reviews including emergency services and any need to access parking areas and drive areas. Respond to any inquiries regarding vehicle access.
- S-12. Provide note that all new roof drains to be connected into new drainage system. Remove / revise note 11 on sheet 2.
- S-13. Clarify if the improvements will require a utility hot box, review placement and any necessary landscape screening.
- S-14. Provide the dimension of the garbage enclosure on the plan to match the dimensions shown on the detail.

Lighting Plan (Provide)

- S-15. Show light pole base detail.
- S-16. Provide pole mounting height including base.
- S-17. Identify if there are any wall mounted lights.
- S-18. Light pole / fixtures locations are not clearly shown on the plan (provide a darker line type). Show the light base on the plan.

Landscaping Plan

- S-19. Label lawn areas.
- S-20. The Board should review if additional screening is required along the frontage. The Planting Plan shows (3) Norway Spruce and (2) Red Maple at the southwest corner, but no other trees along the frontage.

END OF REPORT

RESOLUTION

A Meeting of the Village Board of the Village of Pomona, New York was convened on **October 24, 2022 at 8:00 p.m.**

The following Resolution was duly offered and seconded to wit:

RESOLUTION APPROVING SPECIAL PERMIT SUBJECT TO CONDITIONS FOR A HOUSE OF WORSHIP AT 60 HALLEY DRIVE

WHEREAS, the Village of Pomona previously enacted and filed Local Law 1 of 2021 amending Chapter 130 of the Village Code regarding Neighborhood Houses of Worship, Residential Gatherings and Community House of Worship; and

WHEREAS, the Village Board of Trustees is the entity in the Village that approves Special Permits for Houses of Worship; and

WHEREAS, A neighborhood house of worship is a permitted use subject to special permit approval by the Village Board of Trustees, pursuant to §130-10.H.

WHEREAS, the Village of Pomona (“Village”) received an application (“Special Permit Application”) in August of 2022 for a Neighborhood House of Worship from Congregation Pomona Heights (“Applicant”) proposed at 60 Halley Drive in the Village, S/B/L 25.09-1-33 (“Subject Property”); and

WHEREAS, the Subject Property lot currently contains a 1 story residence, and it is located in the R-40 zoning district on the east side of Halley Drive. The lot has an area of 40, 250 gross sf. No wetlands or floodplains are present. The applicant plans to add to the existing building and to convert it to a neighborhood house of worship with a total floor area of 9,122 square feet; and

WHEREAS, such property is owned by Congregation Pomona Heights; and

WHEREAS, such Special Permit Application was referred to the Village Planning Board; and

WHEREAS, a public hearing was opened regarding the Special Permit Application on September 19, 2022 at 8:00 p.m. and continued on October 24, 2022 and all persons interested in being heard were afforded an opportunity to do so; and

WHEREAS, the Village Board has previously declared itself as lead agency for purposes of SEQRA; and

WHEREAS, the Village Board has reviewed Full Environmental Assessment Forms Part I, Part II and Part III concerning this action; and

WHEREAS, the Village Board desires to approve the Special Permit Application subject to conditions.

NOW, THEREFORE, it is resolved as follows:

Section 1. The above "WHEREAS" clauses are incorporated herein as if set forth in full.

Section 2. The Special Permit Application is hereby approved, subject to the following conditions:

Condition #1: The Applicant must obtain site plan approval from the Village of Pomona Planning Board prior to commencement of construction.

Condition #2: The Applicant must show all sections of retaining wall where the difference between "BW" and "TW" (bottom of wall and top of wall) elevation values is between 10 and 15 feet and must provide a waiver request to the Planning Board with justifications for these wall segments between ten and fifteen feet, or redesign the site with triple walls in order to meet the standards without such waivers.

Condition #3: Street parking shall be permitted on only one side of the street (with such side to be determined by the Village Board) for 750 feet of the proposed main entrance to the House of Worship.

Condition #4: Applicant shall comply with the Village Code provisions concerning Houses of Worship and building construction, the State Building Code provisions applicable to the House of Worship and all applicable duly enacted laws and regulations pertaining to the health, safety and welfare of occupants and visitors to the House of Worship.

Section 3. The Village Board hereby determines that the proposed action will not have any significant adverse environmental impact and hereby issues a negative declaration for the reason set forth in Part 3 of the Full Environmental Assessment Form.

Section 4. The Mayor, or in his absence or inability to act, the Deputy Mayor is hereby authorized to take any and all actions necessary to carry out the provisions of this Resolution. Further, all employees, officials and consultants, as directed by the Mayor (or Deputy Mayor) are hereby authorized to take any and all actions necessary to carry out the provisions of this Resolution.

Section 5. This Resolution shall be effective immediately.

The question of the adoption of the foregoing Resolution was duly put to a vote on roll call, which resulted as follows:

	<u>Yea</u>	<u>Nay</u>	<u>Abstain</u>	<u>Absent</u>
Mayor Ian Banks	[]	[]	[]	[x]
Deputy Mayor Ilan Fuchs	[x]	[]	[]	[]
Trustee Carol McFarlane	[x]	[]	[]	[]
Trustee Mendy Lasker	[x]	[]	[]	[]
Trustee Marc Greenberg	[x]	[]	[]	[]

The Resolution was thereupon duly adopted.

RESOLUTION

A Meeting of the Village Board of the Village of Pomona, New York was convened on **October 24, 2022 at 8:00 p.m.**

The following Resolution was duly offered and seconded to wit:

RESOLUTION APPROVING SPECIAL PERMIT SUBJECT TO CONDITIONS FOR A HOUSE OF WORSHIP AT 7 HIDDEN VALLEY DRIVE

WHEREAS, the Village of Pomona previously enacted and filed Local Law 1 of 2021 amending Chapter 130 of the Village Code regarding Neighborhood Houses of Worship, Residential Gatherings and Community House of Worship; and

WHEREAS, the Village Board of Trustees is the entity in the Village that approves Special Permits for Houses of Worship; and

WHEREAS, A neighborhood house of worship is a permitted use subject to special permit approval by the Village Board of Trustees, pursuant to §130-10.H.

WHEREAS, the Village of Pomona (“Village”) received an application (“Special Permit Application”) in August of 2022 for a Neighborhood House of Worship from Congregation Tilferes Tefillah (“Applicant”) proposed at 7 Hidden Valley Drive in the Village, S/B/L 32.15-5-1 (“Subject Property”); and

WHEREAS, the subject Property currently contains a 1 story residence, and it is located in the R-40 zoning district on the north side of Hidden Valley Drive, across from the intersection with Sunset Terrace. The lot has an area of 41,750 gross sf. No wetlands or floodplains are present. The applicant plans to demolish the existing home and to construct a neighborhood house of worship with 9,993 square feet; and

WHEREAS, such property is owned by ZED Equities, LLC; and

WHEREAS, such Special Permit Application was referred to the Village Planning Board under the and the Rockland County Department of Planning; and

WHEREAS, a public hearing was opened regarding the Special Permit Application on September 19, 2022 at 8:00 p.m. and continued to October 24, 2022, and all persons interested in being heard were afforded an opportunity to do so; and

WHEREAS, by letter dated September 22, 2022, the Rockland County Department of Planning responded with certain recommendations; and

WHEREAS, legal counsel for the applicant submitted a response to the County comments to the Village Board dated October 19, 2022, indicating that the applicant will comply the recommendations of the County Planning Department; and

WHEREAS, the Rockland County Sewer District, by letter dated September 13, 2022, provided comments in response to the Special Permit Application; and

WHEREAS, the Village Board has previously declared itself as lead agency for purposes of SEQRA; and

WHEREAS, the Village Board has reviewed Full Environmental Assessment Forms Part I, Part II and Part III concerning this action; and

WHEREAS, the Village Board desires to approve the Special Permit Application subject to conditions.

NOW, THEREFORE, it is resolved as follows:

Section 1. The above “WHEREAS” clauses are incorporated herein as if set forth in full.

Section 2. The Special Permit Application is hereby approved, subject to the following conditions:

Condition #1: The Applicant must obtain site plan approval from the Village of Pomona Planning Board prior to commencement of construction.

Condition #2: The Planning Board must specifically make a determination as to whether parking on the site is adequate and meets applicable standards.

Condition #3: Street parking shall be permitted on only one side of the street (with such side to be determined by the Village Board) for a distance of 750 feet of the proposed main entrance to the House of Worship.

Condition #4: Applicant shall comply with all recommendations of the Rockland County Planning Department as set forth in the County Planning Department’s September 22, 2022 General Municipal Law § 239-m letter and acknowledged by Applicant is its letter from legal counsel dated September 22, 2022.

Condition #5: Applicant shall comply with the Village Code provisions concerning Houses of Worship and building construction, the State Building Code provisions applicable to the House of Worship and all

applicable duly enacted laws and regulations pertaining to the health, safety and welfare of occupants and visitors to the House of Worship.

Section 3. The Village Board hereby determines that the proposed action will not have any significant adverse environmental impact and hereby issues a negative declaration for the reason set forth in Part 3 of the Full Environmental Assessment Form.

Section 4. The Mayor, or in his absence or inability to act, the Deputy Mayor is hereby authorized to take any and all actions necessary to carry out the provisions of this Resolution. Further, all employees, officials and consultants, as directed by the Mayor (or Deputy Mayor) are hereby authorized to take any and all actions necessary to carry out the provisions of this Resolution.

Section 5. This Resolution shall be effective immediately.

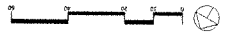
The question of the adoption of the foregoing Resolution was duly put to a vote on roll call, which resulted as follows:

	<u>Yea</u>	<u>Nay</u>	<u>Abstain</u>	<u>Absent</u>
Mayor Ian Banks	[]	[]	[]	[x]
Deputy Mayor Ilan Fuchs	[x]	[]	[]	[]
Trustee Carol McFarlane	[x]	[]	[]	[]
Trustee Mendy Lasker	[x]	[]	[]	[]
Trustee Marc Greenberg	[x]	[]	[]	[]

The Resolution was thereupon duly adopted.

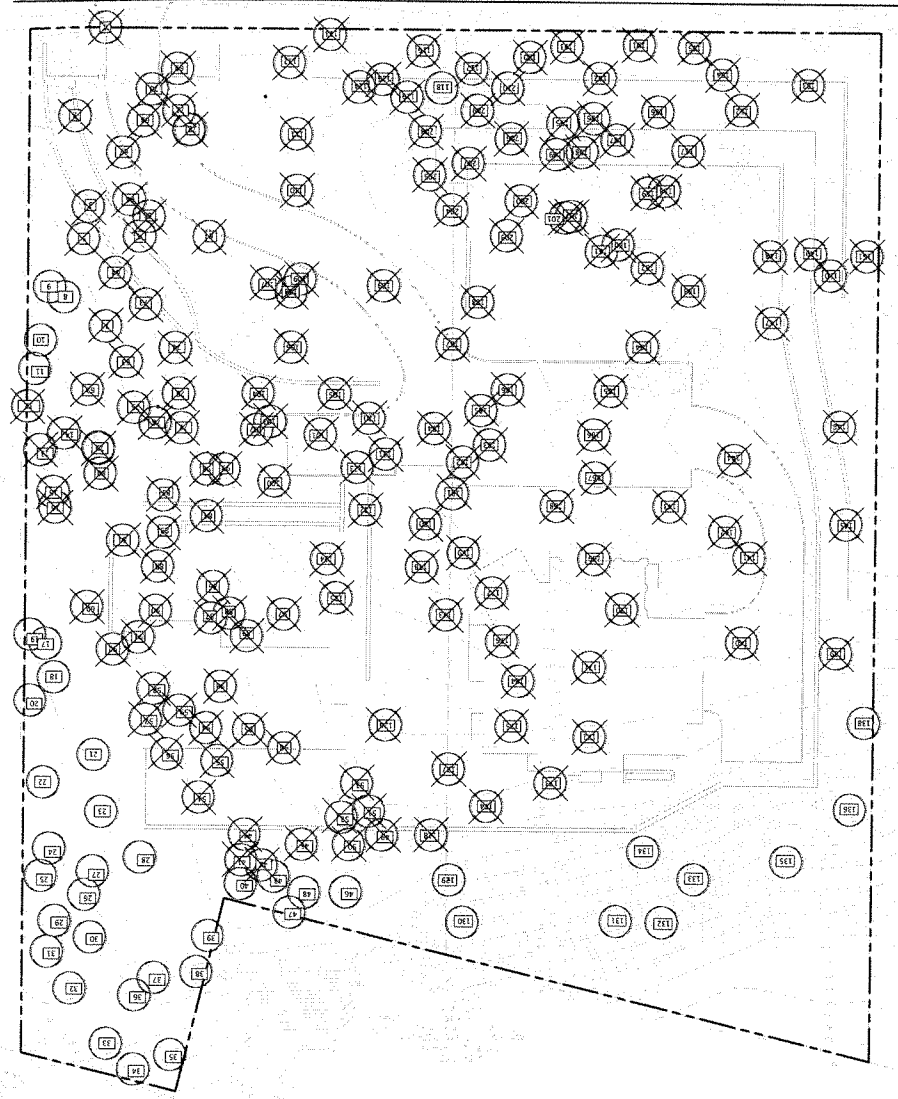


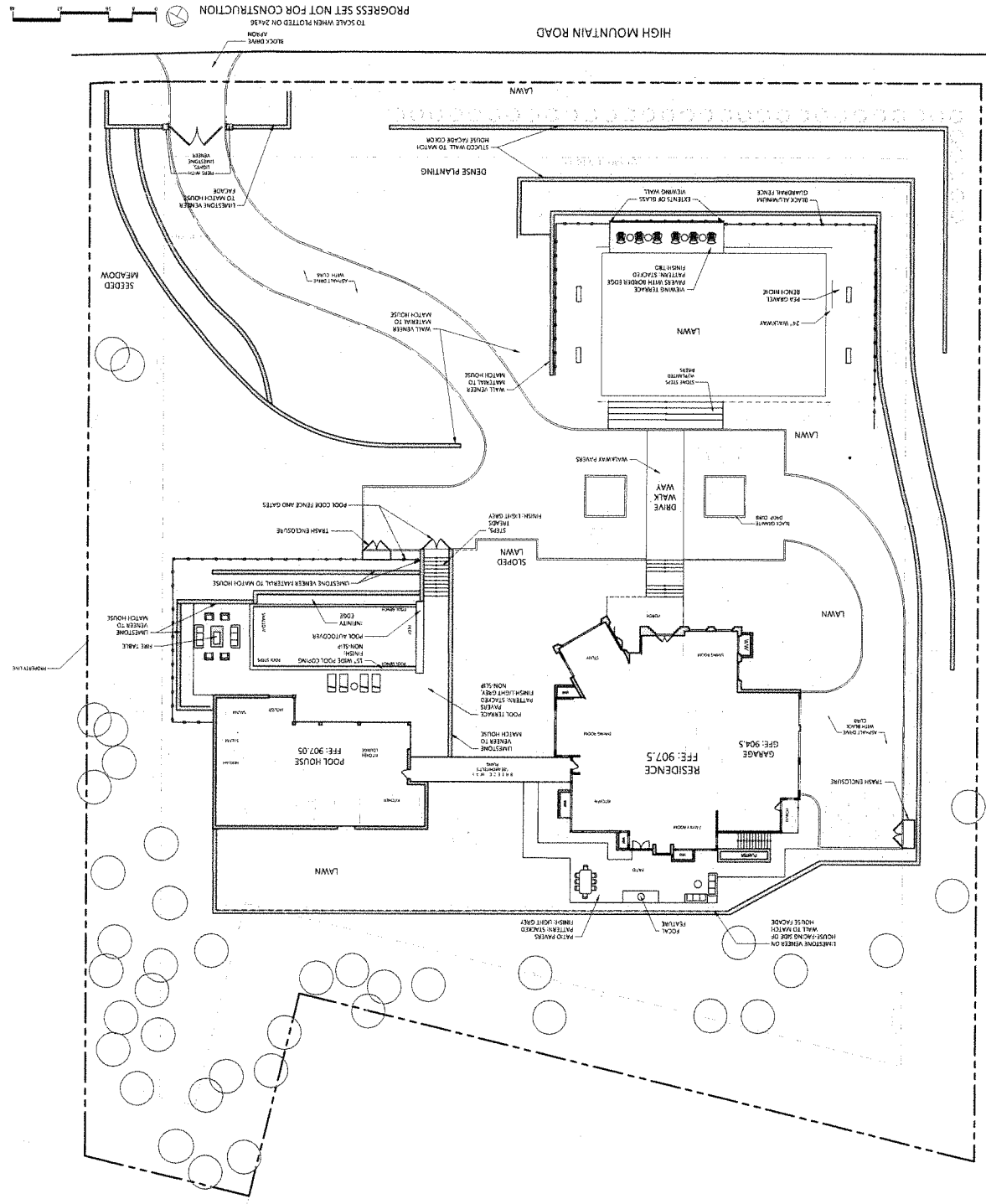
TO SCALE WHEN PLOTTED ON A4&L
 PROGRESS SET NOT FOR CONSTRUCTION



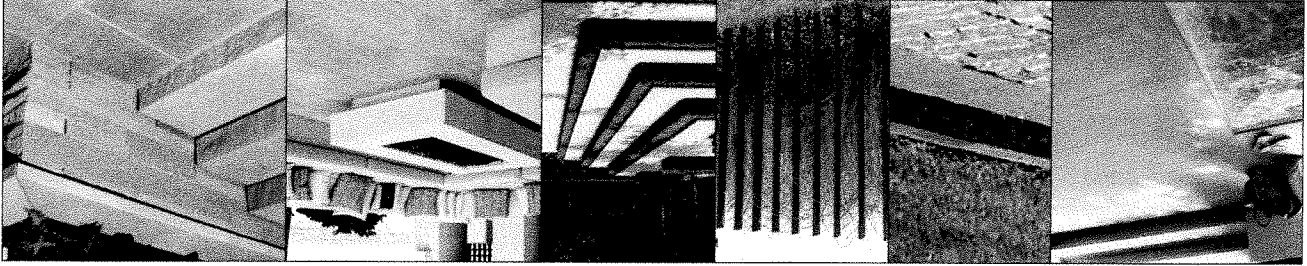
LEGEND

□	TREE ID #
⊗	EXISTING TREE TO BE REMOVED
○	EXISTING TREE TO REMAIN

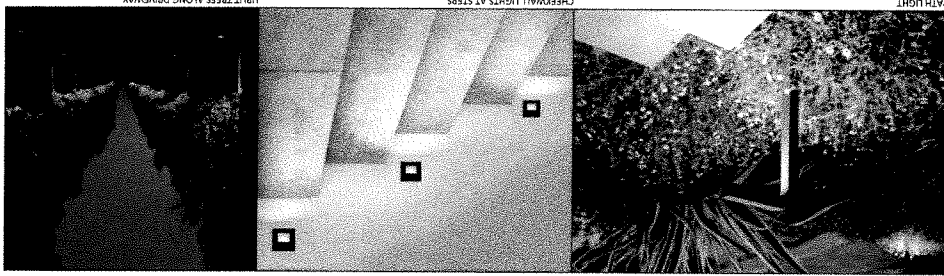
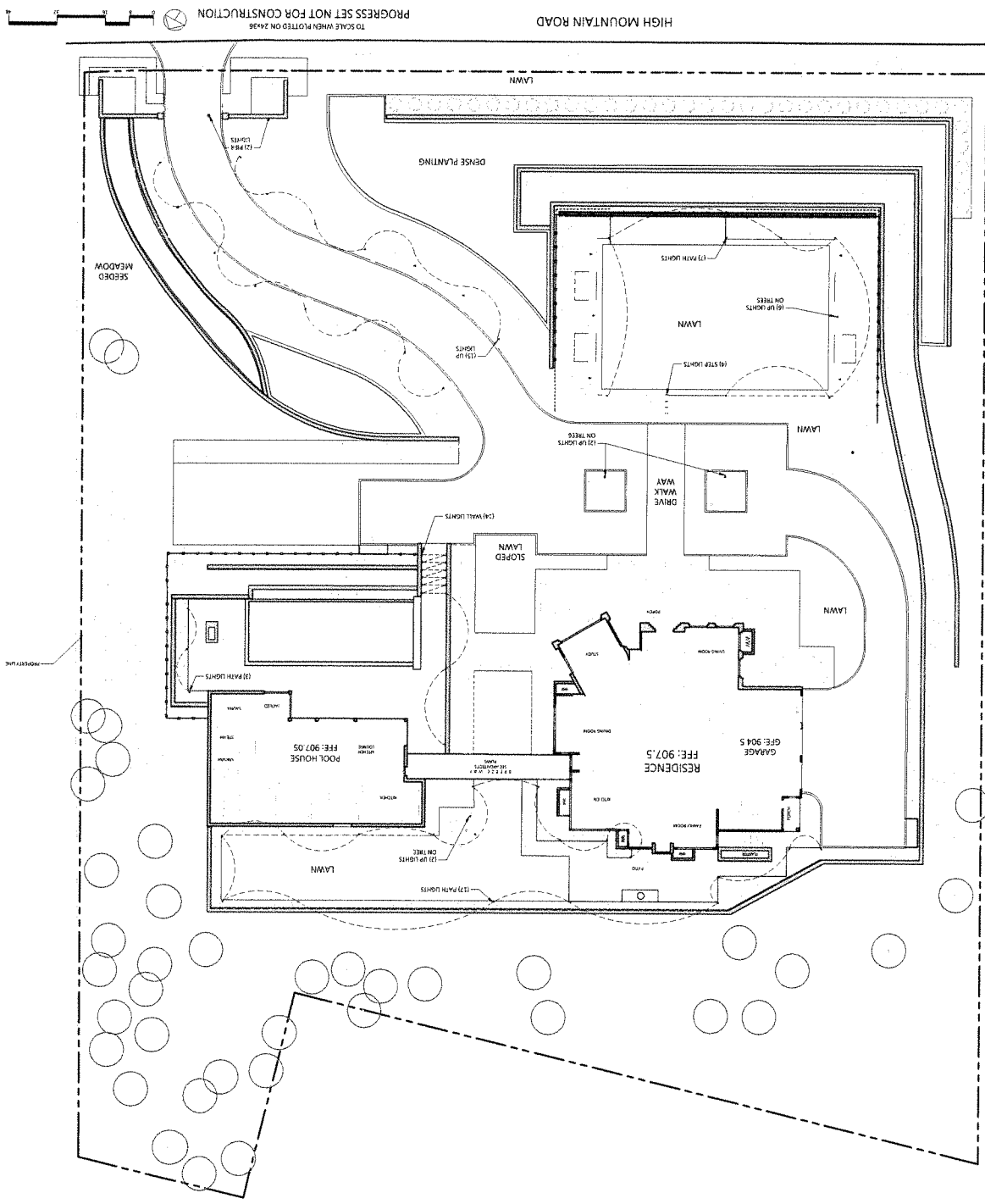


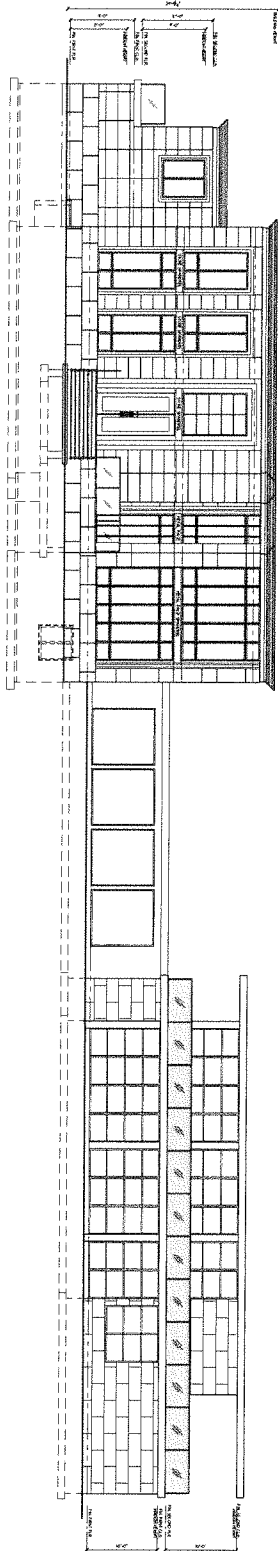


WALL AND STEPS - LIMESTONE
 FINE TABLE
 BLACK ALUMINUM POOL CODE FENCE BOXWOOD BERRS IN LAWN STEPS
 LIGHT GREY POOL PAVEMENT
 BLACK CURB AT DRIVEWAY



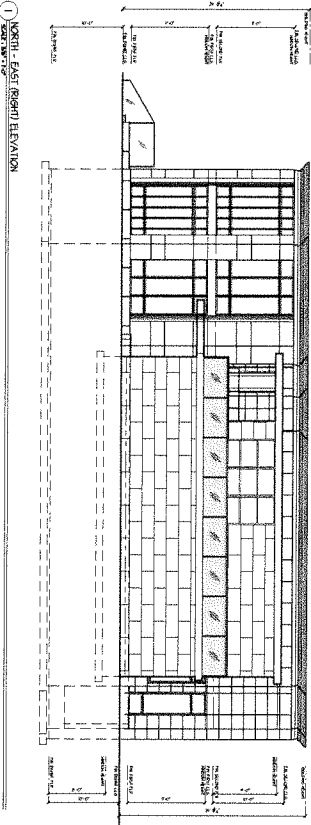
TO SCALE WHEN PLOTTED ON 24x36
 PROGRESS SET NOT FOR CONSTRUCTION





1 SOUTH-EAST ELEVATION

FINISH SCHEDULE	
1	BRICK
2	HORIZONTAL SIDING
3	WOOD SHAKES
4	WOOD SHAKES
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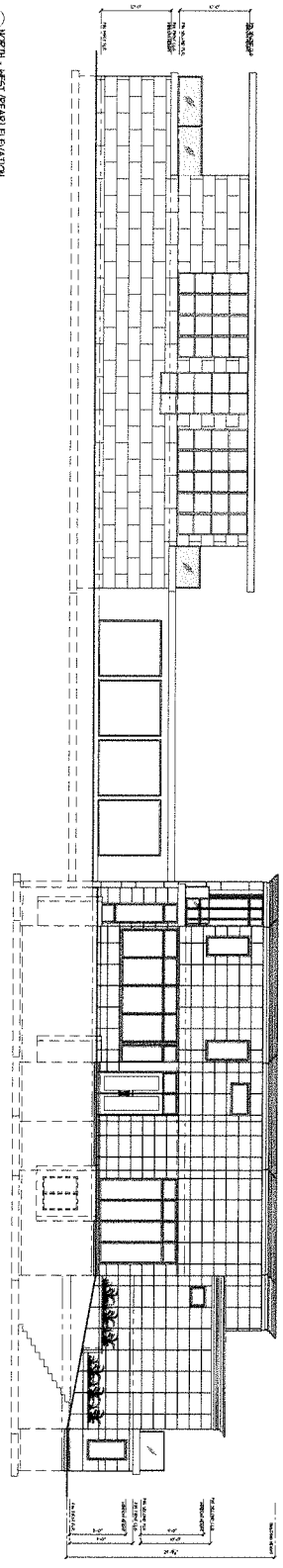
1 NORTH-EAST ELEVATION

PROPOSED NEW CUSTOM RESIDENCE FOR:
THE GEFNER RESIDENCE
 281-33-23
 13 & 15 HIGH MOUNTAIN ROAD, POMONA, NY 10970
 VILLAGE OF POMONA, ROCKLAND COUNTY, NY

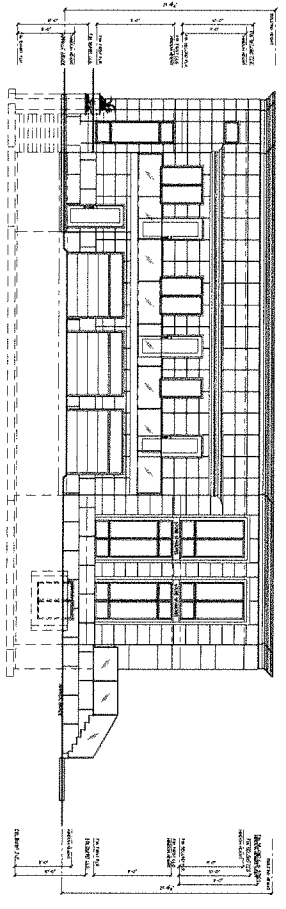
WILLIAM BATEMAN ARCHITECT
 144 Route 95, Suite 2
 SUFFERN, NY 10986
 TEL: 845.351.0900
 FAX: 845.351.0909

A-1 of 5
 CONTRACT NO. 2008-001
 DATE: 11/11/08
 SHEET NO. 11 of 12
 NORTH-EAST ELEVATION
 ELEVATIONS

1 NORTH-WEST REAR ELEVATION



2 SOUTH-WEST REAR ELEVATION



A-2 of 5

PROPOSED NEW CUSTOM RESIDENCE FOR:
THE GEFNER RESIDENCE
 142-33-23
 13 & 15 HIGH MOUNTAIN ROAD, POMONA, NY 10970
 VILLAGES OF POMONA, ROCKLAND COUNTY, NY

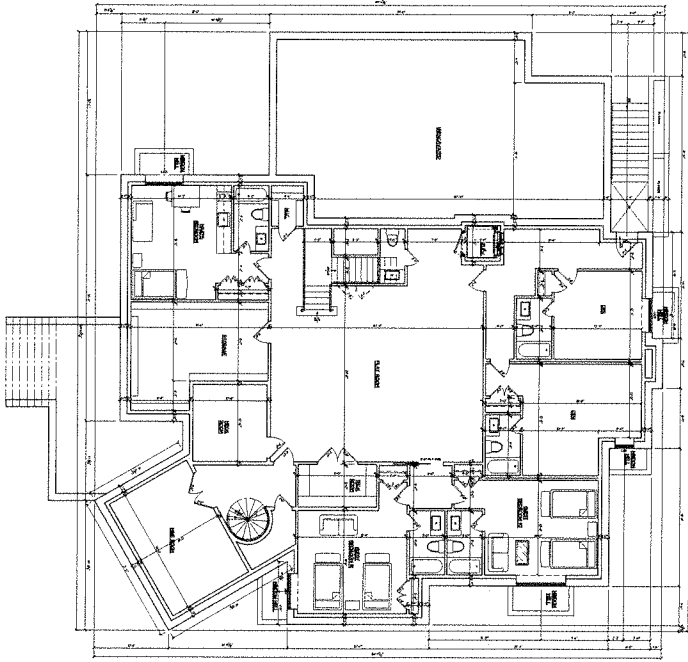


WILLIAM
 BATEMAN
 ARCHITECT

142 Road 23, Suite 2
 Pomona, NY 10970
 Tel. 845.537.7095
 Fax. 845.537.7095

© 2007 WILLIAM BATEMAN ARCHITECT. THIS DRAWING IS THE PROPERTY OF WILLIAM BATEMAN ARCHITECT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY INDICATED. THIS DRAWING IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. ALL RIGHTS RESERVED.

1 BASEMENT FLOOR PLAN
Scale: 1/8" = 1'-0"



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A-3 of 5

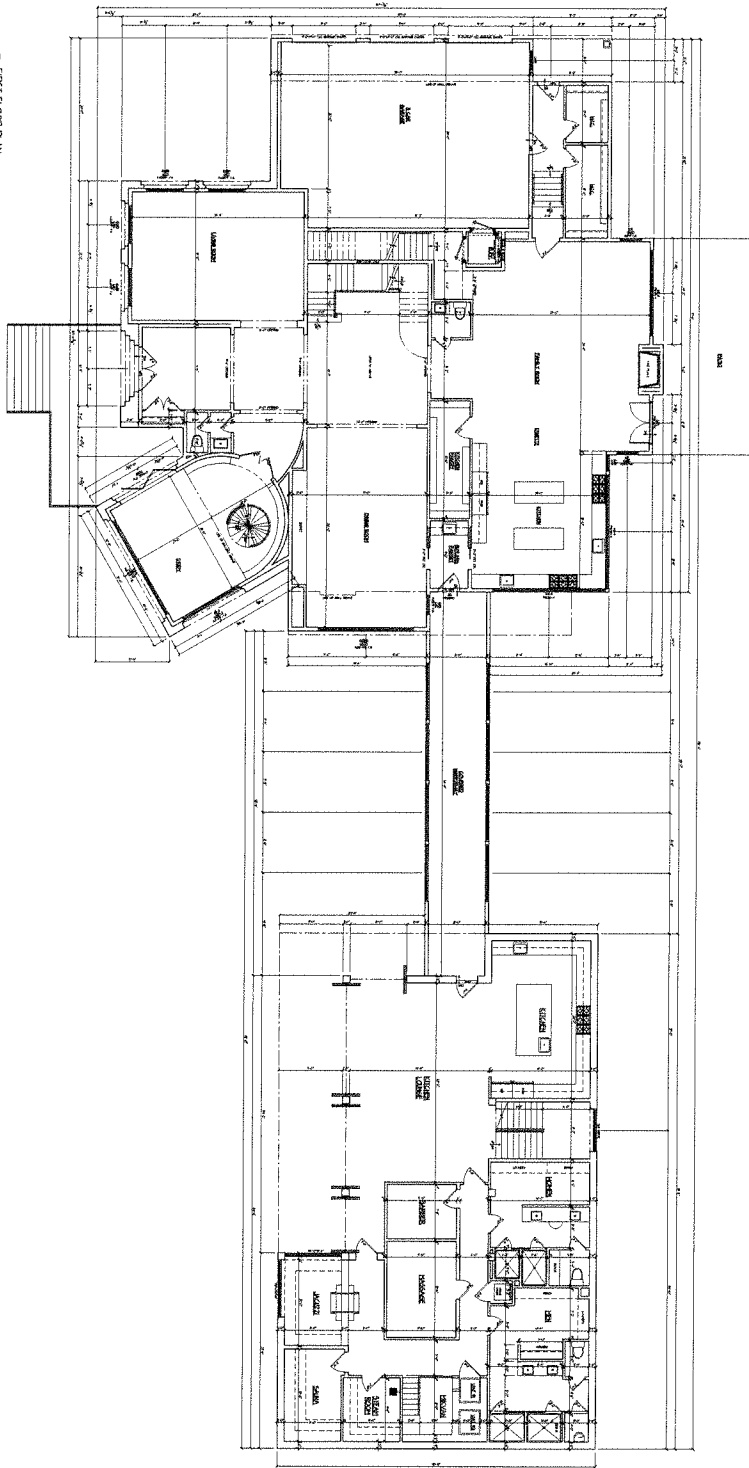
PROJECT: THE GEFNER RESIDENCE
 13 & 15 HIGH MOUNTAIN ROAD, POMONA, NY 10970
 VILLAGE OF POMONA, ROCKLAND COUNTY, NY



PROPOSED NEW CUSTOM RESIDENCE FOR:
THE GEFNER RESIDENCE
 2 421-33-23
 13 & 15 HIGH MOUNTAIN ROAD, POMONA, NY 10970
 VILLAGE OF POMONA, ROCKLAND COUNTY, NY

WILLIAM
 BATEMAN
 ARCHITECT
 144 Route 56, Suite 2
 Sullivan, NY 10901
 TEL: 845.531.0081
 FAX: 845.531.0085

1 FIRST FLOOR PLAN



A4 of 5

PROPOSED NEW CUSTOM RESIDENCE FOR
THE GEFNER RESIDENCE
 2 & 1-33-73
 13 & 15 HIGH MOUNTAIN ROAD, POMONA, NY 10976
 VILLAGE OF POMONA, ROCKLAND COUNTY, NY



WILLIAM
BATEMAN
 ARCHITECT

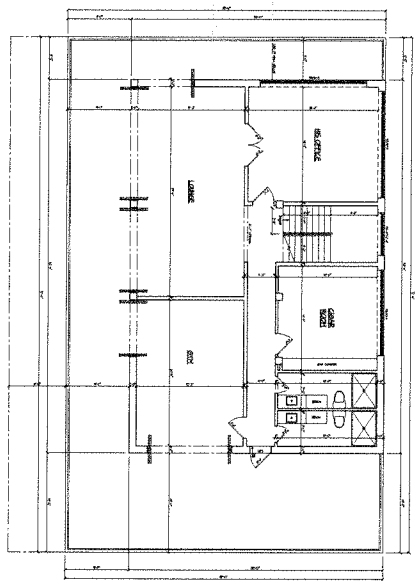
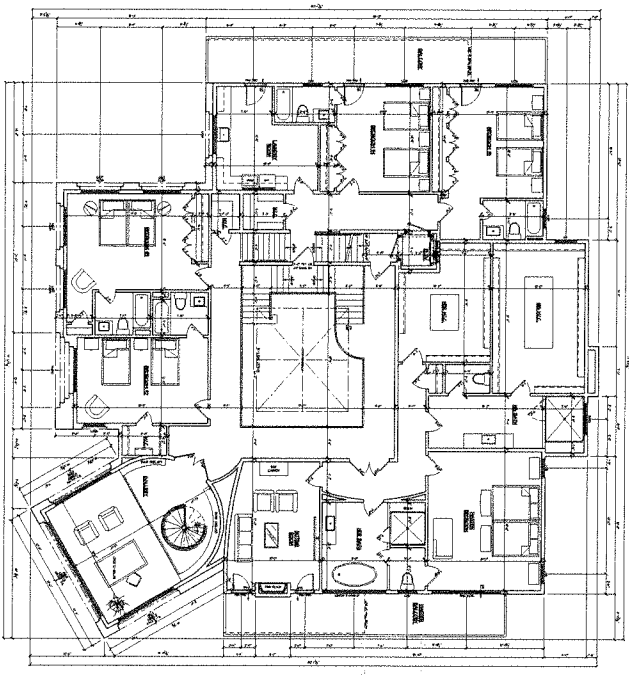
144 Route 95, Suite 2
 Sullivan, NY 10900
 TEL: 845.517.0800
 FAX: 845.517.0800

DATE: 01/15/2009
 DRAWN BY: JMB
 CHECKED BY: WJB
 PROJECT NO.: 2 & 1-33-73

SCALE: 1/8" = 1'-0"

SECOND FLOOR PLAN

① SECOND FLOOR PLAN



A-5 of 5

PROPOSED NEW CUSTOM RESIDENCE FOR:
THE GEFNER RESIDENCE
 261-33-23
 13 & 15 HIGH MOUNTAIN ROAD, POMONA, NY 10970
 VILLAGE OF POMONA, ROCKLAND COUNTY, NY



WILLIAM
 BATEMAN
 ARCHITECT

144 Brook St, Suite 2
 Suffern, NY 10986
 Tel: 845.331.5800
 Fax: 845.331.5999

DATE: 01/11/11
 SHEET NO.: 2
 PROJECT NO.: 261-33-23

October 7, 2022

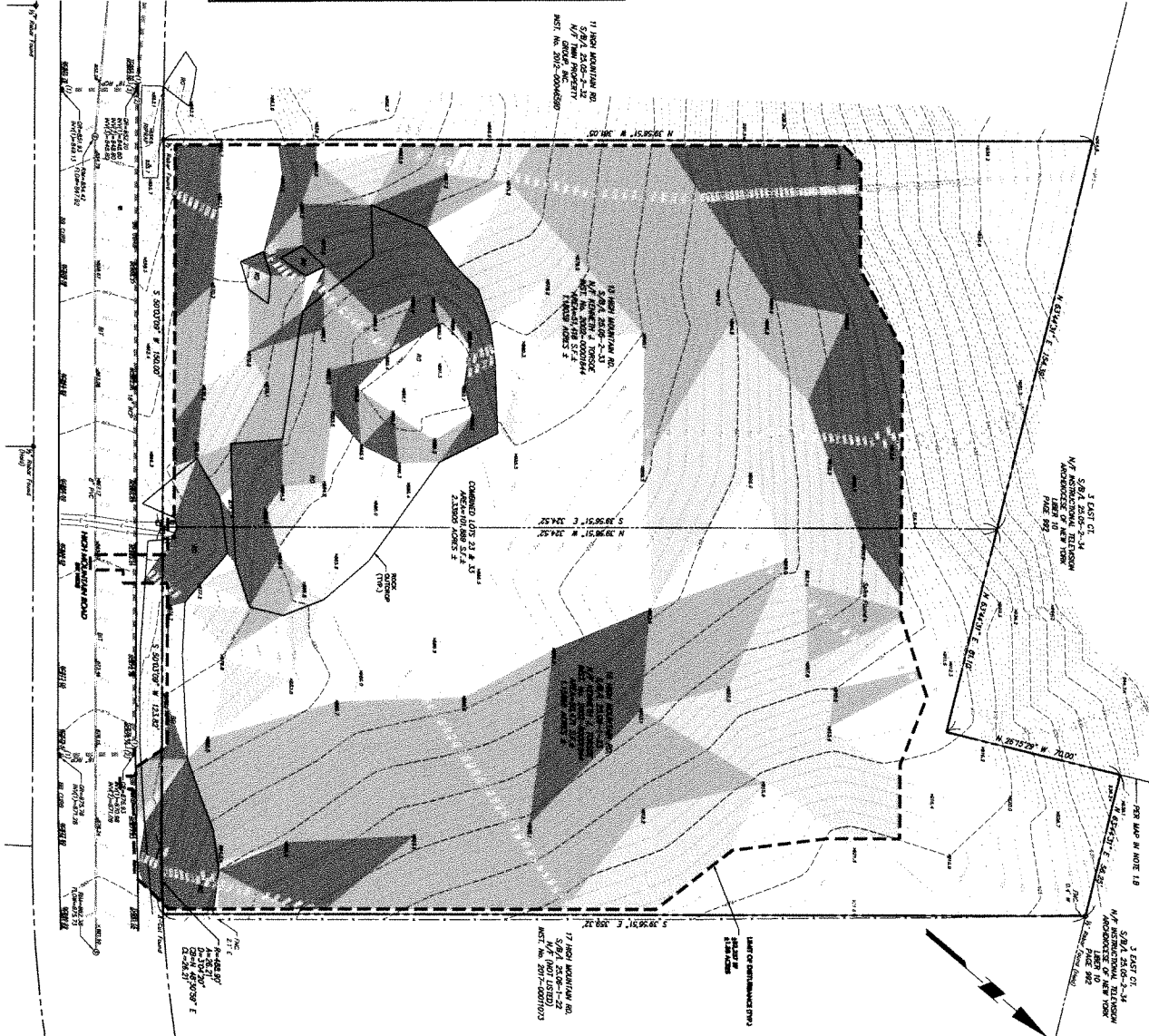
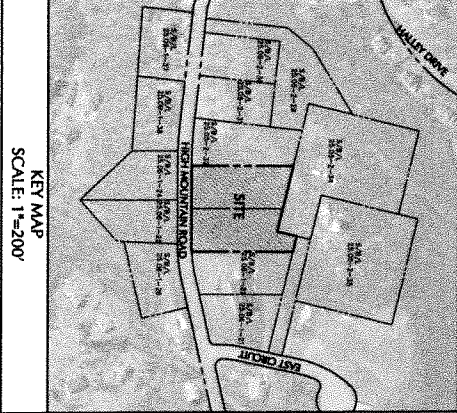
Village of Pomona
100 Ladentown Road
Pomona, NY 10970

Re: 31 High Mountain Road
Pomona, NY 10970
Tax Lot 25.06-1-10

The attached plot plan is for a single family residence located at 31 High Mountain Road. The application is presented to the Planning Board due to the steep slopes on site. The property is located on the northwest side of High Mountain Road. There is a gravel driveway on site that was previously cleared and rough graded. Otherwise the property is vacant. The new proposal is for a single family home with a driveway, a pervious paver patio, a pool, a pervious paver pool patio and a pool house. Retaining walls are required due to the steep slopes. A series of walls is proposed to comply with the Village's regulations.

GENERAL CONTRACTOR SITE NOTES:

1. EXISTING SURFACE FINISHES BY LOCAL DEPARTMENT AND DISTRICT/STATE DEPT. RECORDS TO BE USED.
2. THE CONTRACTOR SHALL VERIFY ALL UTILITIES AND CONDUITS IN ALL AREAS TO BE CONSTRUCTED. A UTILITY LOCATING SERVICE SHALL BE EMPLOYED TO LOCATE ALL UTILITIES AND CONDUITS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND RECORDS FOR ALL UTILITIES AND CONDUITS. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND CONDUITS.
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SPOTS WITHIN LIMIT OF DISTURBANCE TABLE

SPOT CATEGORY	COUNT	IMP. SPOTS	NON-IMP. SPOTS	TOTAL SPOTS
VEGETATION	126	2058	16470	18734
WATER BODIES	126	2058	16470	18734
WETLANDS	126	2058	16470	18734
WATERWAYS	126	2058	16470	18734
WETLANDS	126	2058	16470	18734
WATERWAYS	126	2058	16470	18734
TOTAL WETLANDS AREA	126	2058	16470	18734

EXISTING CONDITIONS PLAN

HIGH MOUNTAIN ROAD

POCONO, NEW YORK

PROJECT NO. 190064001

CD101

LANEGAN

Landscape Architecture and Planning, Inc.

1007/2022

190064001

POCONO, NEW YORK

DATE: 06/07/2022

REVISION: 2

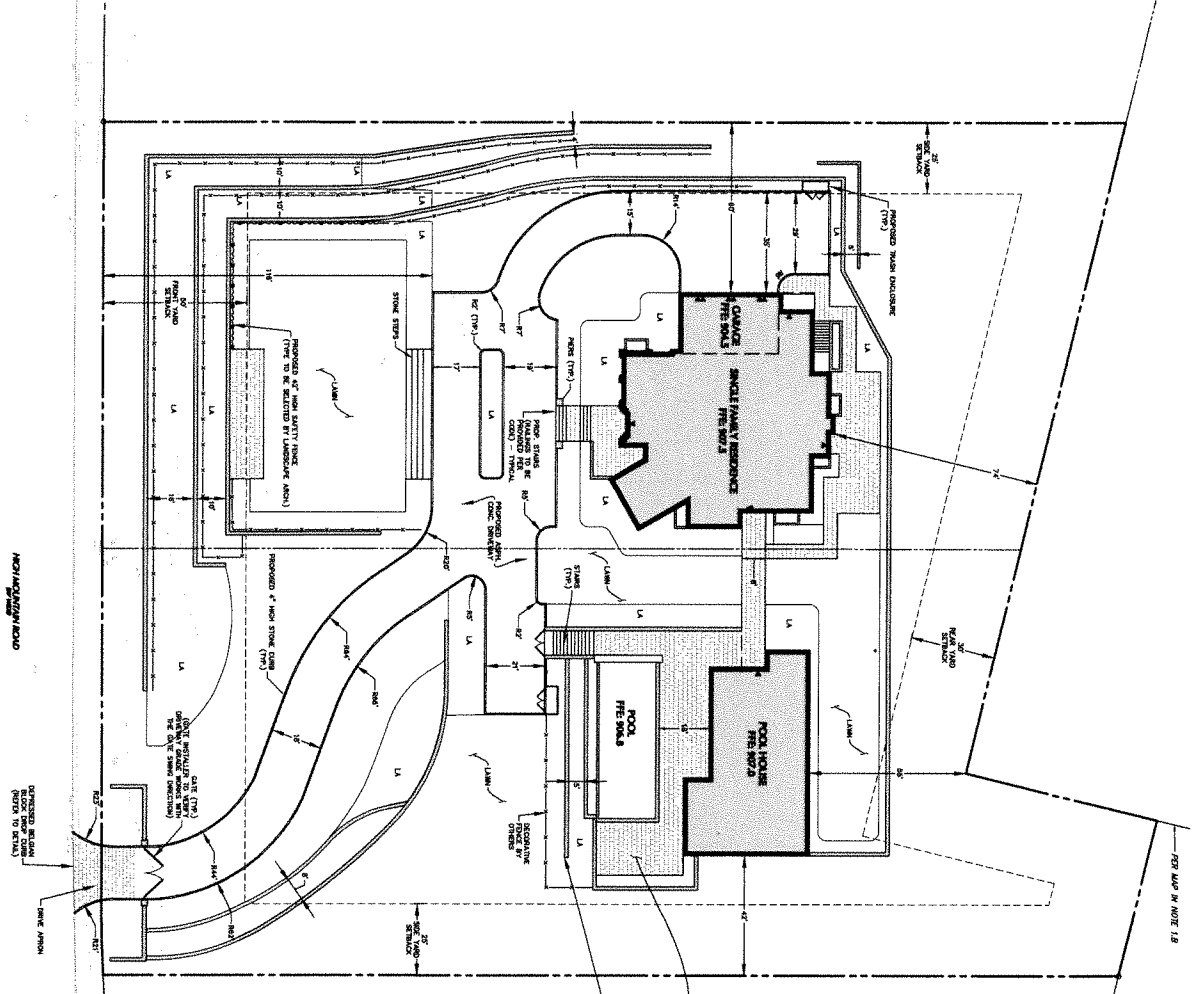
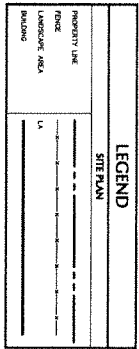
REVISIONS:

Date	Description	No.
06/07/2022	REVISED PER NADLER	2
06/07/2022	REVISED SPOTS, ANALYSIS	1

VILLAGE OF POMONA ZONING TABLE

ITEM	ZONING DISTRICT: R-40, permitted uses	REQUIRED / PERMITTED	PROPOSED / COMBINED LOTS 2 & 3 (2)	COMPLIANCE
Uses Permitted by Right	One-Family Residence	One-Family Residence		
LOT				
Minimum Lot Area	40,000 SF	101,848 SF (2.34 AC.)	YES	
Minimum Lot Width	100 FT	300 FT	YES	
Minimum Lot Frontage	100 FT	300 FT	YES	
7.600 SETBACK	100 FT	300 FT	YES	
Minimum Front Yard	50 FT	115.6 FT	YES	
Minimum Side Yard	25 FT	25 FT	YES	
Minimum Rear Yard	25 FT	25 FT	YES	
7.600 COVERAGE	15%	5%	YES	
Maximum Floor Area Ratio	35 FT	29.77 FT	YES	
Maximum Floor Area	100 SF / 10' N	< 100 SF / 10' W/F	REFER TO ARCH. PLAN	
Maximum Building Height	1/2 without requirements	35 FT	YES	
Maximum Height Within	10 FT	10 FT	YES	

*Maximum building over 100' or 12' in shall meet all setback requirements. Accessory buildings over 2000 sf or greater than 20' require special permit by 20.



REVISIONS

Date	Description	No.
10/07/2022	REVISED PER VALUE	2
09/16/2022	REVISED WALLS	1

PROJECT INFORMATION

10/07/2022
DATE SUBMITTED

181-227-2400 • 1-845-223-7201 • www.lanigan.com

LANIGAN
Lanigan Engineering, Environmental, Surveying
Landscape Architecture and Geology P.C.
One West Street, 10th Floor
New York, NY 10001

PROJECT
HIGH MOUNTAIN
ROAD
POMONA, NEW YORK
VILLAGE OF POMONA
NEW YORK STATE

ISSUANCE
10/07/2022
DATE

DESIGNED BY
LM

CHECKED BY
LM

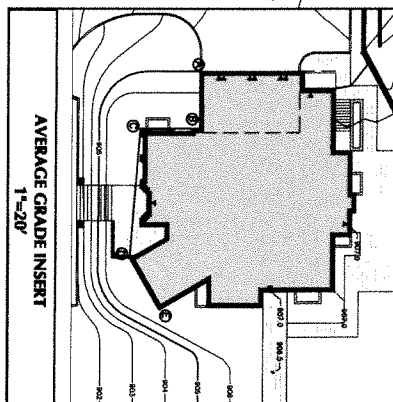
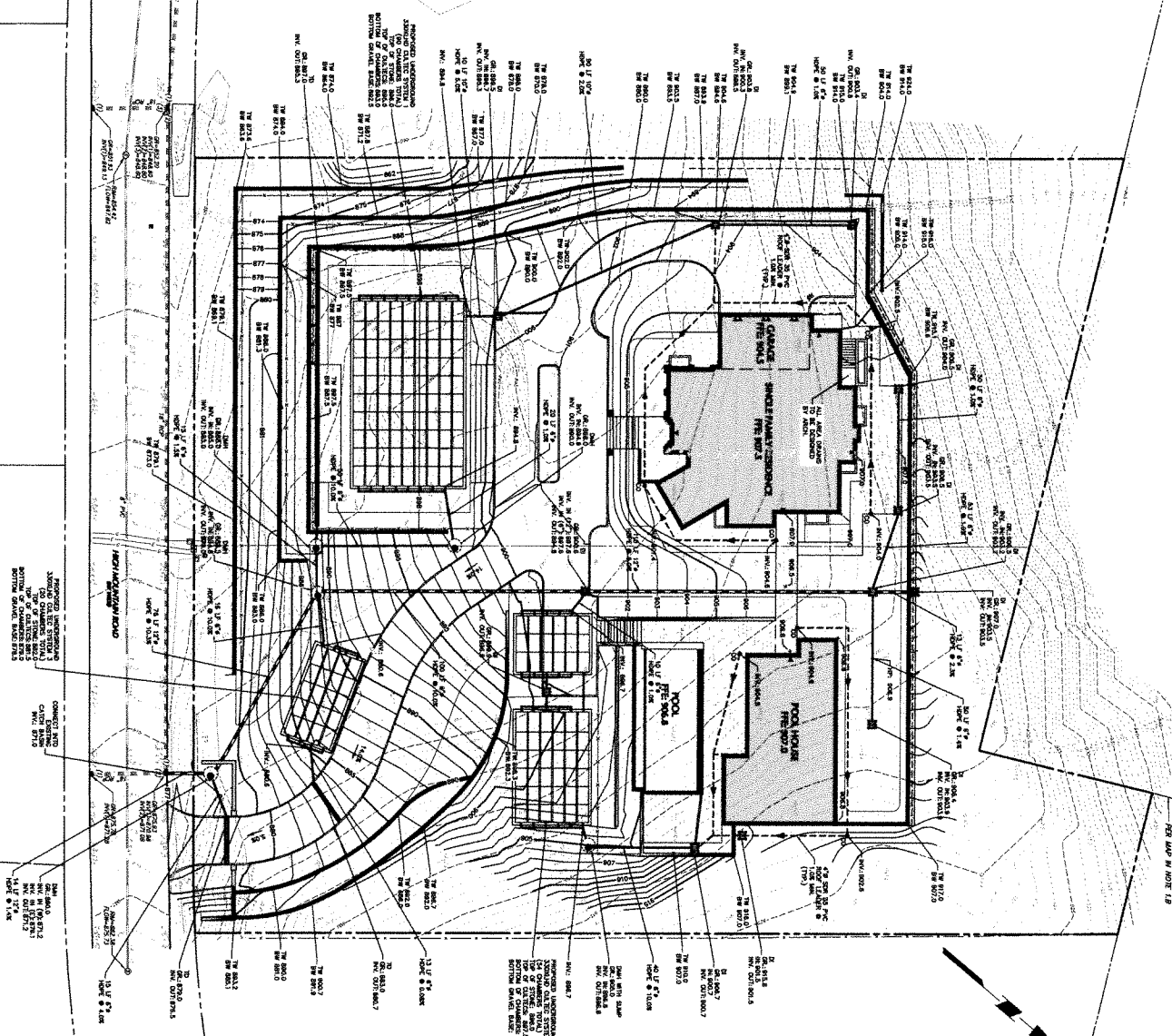
PROJECT NO.
18000001

DRAWING NO.
CS101

SHEET 2 OF 2

- ### DRAINAGE NOTES
1. THE CONTRACTOR SHALL OBTAIN THE CITY OF NEW YORK'S PERMITS AND APPROVALS FOR THE INSTALLATION OF THE DRAINAGE SYSTEM IN ACCORDANCE WITH THE CITY OF NEW YORK'S DEPARTMENT OF ENVIRONMENTAL CONSERVATION (DEC) REGULATIONS AND THE CITY OF NEW YORK'S DEPARTMENT OF PUBLIC WORKS (DPW) REGULATIONS.
 2. THE DRAINAGE SYSTEM SHALL BE DESIGNED TO MAINTAIN THE PROPOSED GRADE AT ALL TIMES AND TO PREVENT ANY UNDESIRABLE EROSION OR SETTLEMENT OF THE SOILS.
 3. ALL DRAINAGE SYSTEMS SHALL BE DESIGNED TO MAINTAIN THE PROPOSED GRADE AT ALL TIMES AND TO PREVENT ANY UNDESIRABLE EROSION OR SETTLEMENT OF THE SOILS.
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 9. ALL DRAINAGE SYSTEMS SHALL BE DESIGNED TO MAINTAIN THE PROPOSED GRADE AT ALL TIMES AND TO PREVENT ANY UNDESIRABLE EROSION OR SETTLEMENT OF THE SOILS.
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 11. ALL DRAINAGE SYSTEMS SHALL BE DESIGNED TO MAINTAIN THE PROPOSED GRADE AT ALL TIMES AND TO PREVENT ANY UNDESIRABLE EROSION OR SETTLEMENT OF THE SOILS.
 12. ALL DRAINAGE SYSTEMS SHALL BE DESIGNED TO MAINTAIN THE PROPOSED GRADE AT ALL TIMES AND TO PREVENT ANY UNDESIRABLE EROSION OR SETTLEMENT OF THE SOILS.

- ### GRADING NOTES
1. ALL EXISTING WALLS SHALL BE TO EXIST HIGH MARK.



AVERAGE GRADE CALCULATION

Spot Elev. No.	Grade Elevation	Average	Area	Area Elevation
B-C	507	507	20	10140
C-D	507	507	46	41722
D-E	507	507	50	15175
TOTAL		107	116	67037

AVERAGE GRADE 506.81

DATE: 09/16/2022

REVISIONS:

NO.	DATE	DESCRIPTION	BY
1	09/16/2022	REVISED PER PLAN	LM
2	09/16/2022	REVISED WALLS	LM

10/07/2022

THE SEALS

PROFESSOR OF ENGINEERING IN CIVIL ENGINEERING

LANEVAN ENGINEERING, ENVIRONMENTAL, SURVEYING, LANDSCAPE ARCHITECTURE AND GEOTECHNICAL CONSULTANTS

NEW YORK STATE

110 WEST 42ND STREET, SUITE 1000, NEW YORK, NY 10018

TEL: 212-693-8800 FAX: 212-693-8801 WWW.LANEVAN.COM

PROJECT: HIGH MOUNTAIN ROAD

CLIENT: POLYCON, NEW YORK

PROJECT NO.: NEW YORK STATE

CONTRACT NO.: NEW YORK STATE

PROJECT NO. 190064001

DATE: JUNE 7, 2022

SCALE: 1" = 20'

PROJECT: GRADING & DRAINAGE PLAN

PROJECT NO. CG101

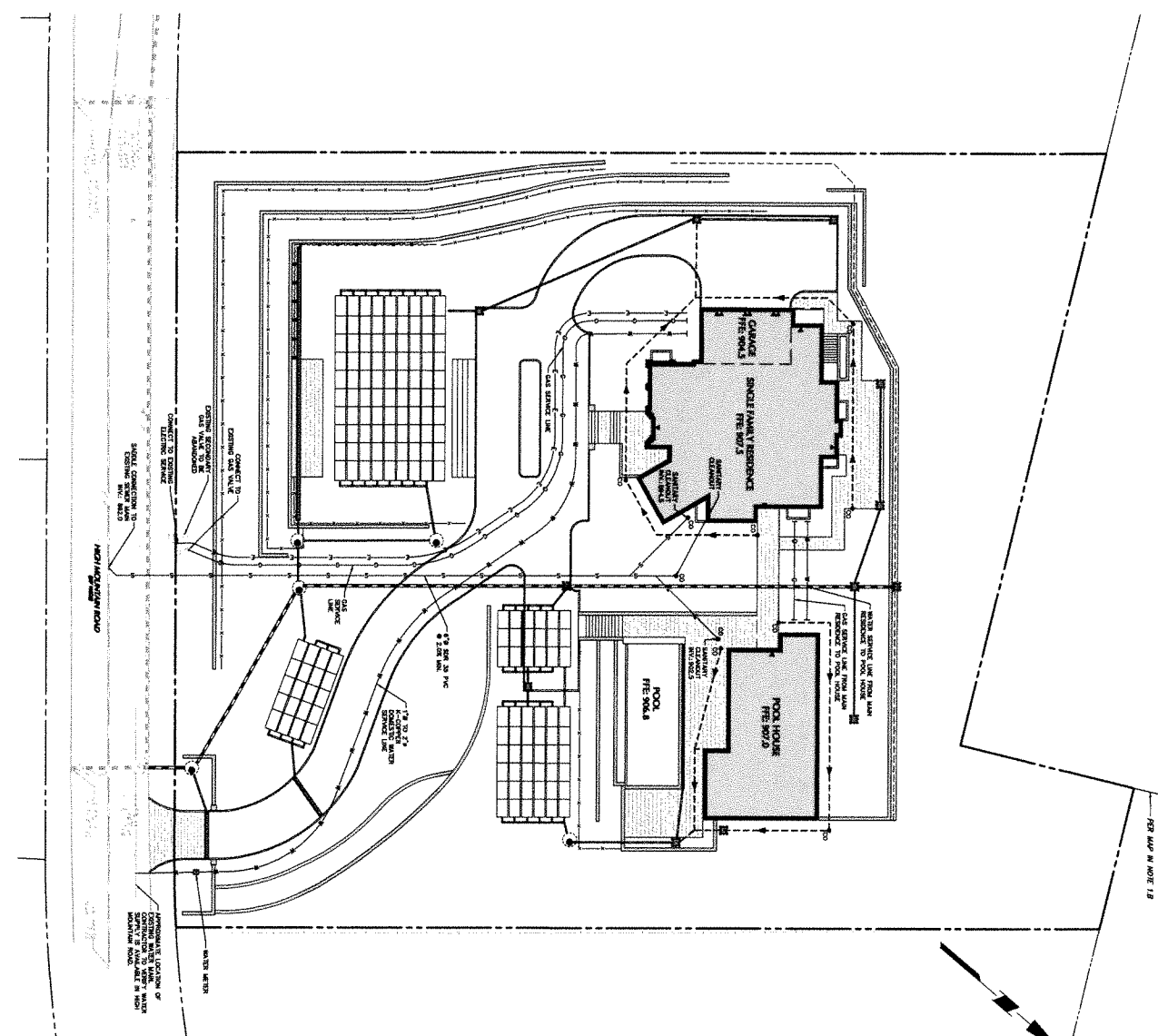
PROJECT NO. 190064001

DATE: JUNE 7, 2022

SCALE: 1" = 20'

PROJECT: GRADING & DRAINAGE PLAN

PROJECT NO. CG101



SEE MAP IN NOTE 1B

UTILITY NOTES

1. THE DEVELOPER SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL, STATE AND FEDERAL GOVERNMENTS.
2. THE DEVELOPER SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL, STATE AND FEDERAL GOVERNMENTS.
3. THE DEVELOPER SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL, STATE AND FEDERAL GOVERNMENTS.
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6. THE DEVELOPER SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL, STATE AND FEDERAL GOVERNMENTS.
7. THE DEVELOPER SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL, STATE AND FEDERAL GOVERNMENTS.

UTILITY PLAN

PROJECT No. 19064001 Drawing No.

DATE: JUNE 27, 2023

Drawn By: LM

Checked By: LM

Scale: 1" = 20' (SEE NOTE 1B)

Sheet: 4 of 8

CU101

LANGAN

Langan Engineering, Environmental, Surveying, Landscaping Architecture and Geology, D.P.C.

One Woodbury Square, Suite 110
Woodbury, NY 11791

714.223.7100 F 815.223.2411 www.langan.com

PROJECT: HIGH MOUNTAIN ROAD, ROMONA, NEW YORK

DATE SIGNED: 10/07/2023

DATE: 10/07/2023

BY: DAVID SOROKO

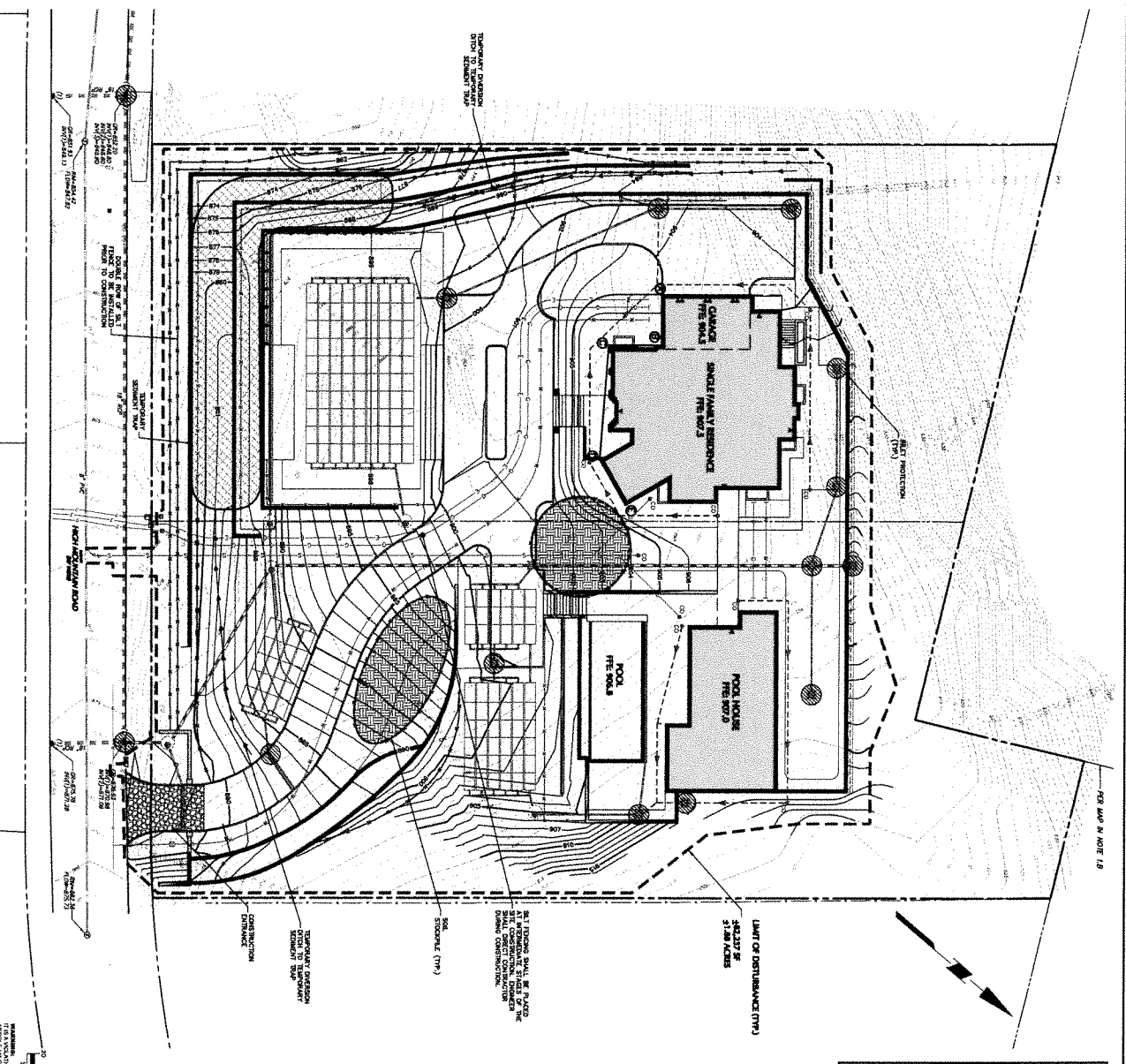
REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF NEW YORK, LICENSE NO. 081473

EROSION & SEDIMENT CONTROL NOTES:

1. REFER TO THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION REGULATORY PLAN FOR ADDITIONAL REQUIREMENTS.
2. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, LATEST EDITION.
3. BEFORE BEGINNING CONSTRUCTION, THE OWNER MUST SET UP A BEST-MANAGEMENT PRACTICES (BMP) PLAN TO PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE CONSTRUCTION SITE.
4. THE BEST-MANAGEMENT PRACTICES (BMP) PLAN MUST BE APPROVED BY THE DEPARTMENT OF ENVIRONMENTAL CONSERVATION AND THE COUNTY ENGINEER BEFORE CONSTRUCTION BEGINS.
5. THE BEST-MANAGEMENT PRACTICES (BMP) PLAN MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND MUST BE MODIFIED AS NECESSARY TO REFLECT CHANGES TO THE CONSTRUCTION SITE.
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POLLUTION PREVENTION CONTROL:

1. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL, LATEST EDITION.
2. BEFORE BEGINNING CONSTRUCTION, THE OWNER MUST SET UP A BEST-MANAGEMENT PRACTICES (BMP) PLAN TO PREVENT EROSION AND SEDIMENTATION FROM OCCURRING ON THE CONSTRUCTION SITE.
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LEGEND

SOIL EROSION & SEDIMENT CONTROL

PROPERTY LINE	---
LIMIT OF DISTURBANCE	---
SOIL STOCKPILE	[Pattern]
CONSTRUCTION ENTRANCE	[Pattern]
SOIL STOCKPILE	[Pattern]
SEDIMENT TRAP	[Pattern]
EROSION CONTROL	[Pattern]

PROJECT INFORMATION

PROJECT: HIGH MOUNTAIN ROAD
LOCATION: POCONO, NEW YORK
CLIENT: POCONO COUNTY
DATE: JAN 7 2022
DRAWING NO.: CE101

DESIGNER: LANEGAN
 English Engineering, Environmental, Surveying
 Landscape Architecture and Geology, P.C.
 1000 W. Main Street, Suite 100
 P.O. Box 1000
 West Nyack, NY 10994
 Tel: 914.353.7000 Fax: 914.353.7001 www.lanegan.com

REVISIONS

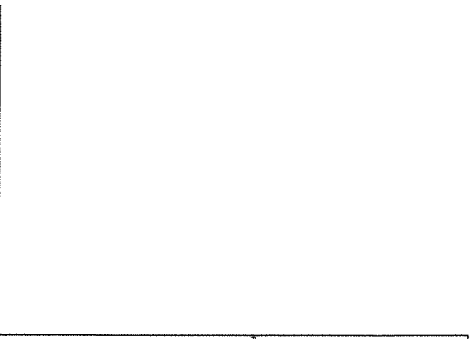
NO.	DATE	DESCRIPTION
1	09/16/2021	REVISED PER PLAN
2	09/16/2021	REVISED WALLS

SCALE: 1" = 10'-0"

DATE: JAN 7 2022

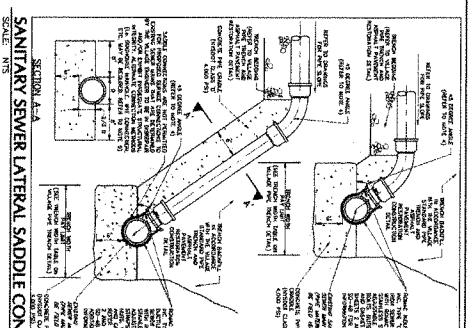
DRAWN BY: JM

CHECKED BY: JM



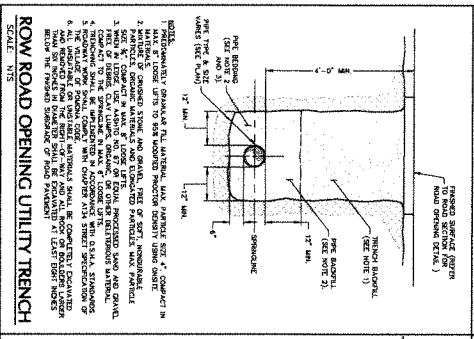
STORMWATER MANHOLE - 4' DIA.
SCALE: N1/S

NOTES:
1. SEE THE SPECIFICATIONS FOR LISTS OF PIPE CONNECTIONS TO MANHOLE MAIN.
2. CURB WITH 1/2" RADIUS TO MATCH MANHOLE MAIN.
3. CONCRETE SHALL BE 3000 PSI COMPACTED WITH 1/2" RADIUS TO MATCH MANHOLE MAIN.
4. CONCRETE SHALL BE 3000 PSI COMPACTED WITH 1/2" RADIUS TO MATCH MANHOLE MAIN.
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6. CONCRETE SHALL BE 3000 PSI COMPACTED WITH 1/2" RADIUS TO MATCH MANHOLE MAIN.



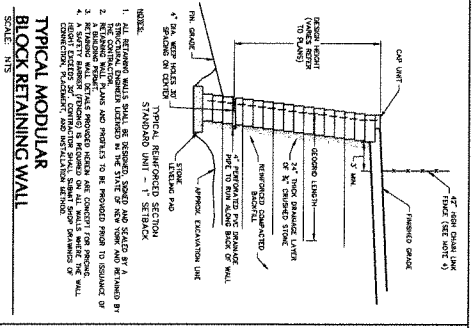
SANITARY SEWER LATERAL SADDLE CONNECTION
SCALE: N1/S

NOTES:
1. ALL SADDLE JOINTS SHALL HAVE A MINIMUM OF THREE (3) AND ONE (1) INCH (1") OF COVER. COVER AND SUPPORT SHALL BE AT LEAST 18" ABOVE FINISHED GRADE.
2. ALL SADDLE JOINTS SHALL BE REINFORCED WITH REINFORCING BARS.
3. ALL SADDLE JOINTS SHALL BE REINFORCED WITH REINFORCING BARS.
4. ALL SADDLE JOINTS SHALL BE REINFORCED WITH REINFORCING BARS.
5. ALL SADDLE JOINTS SHALL BE REINFORCED WITH REINFORCING BARS.
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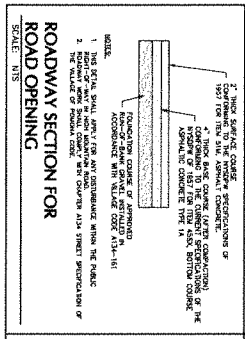
ROW ROAD OPENING UTILITY TRENCH
SCALE: N1/S

NOTES:
1. SEE THE SPECIFICATIONS FOR LISTS OF PIPE CONNECTIONS TO MANHOLE MAIN.
2. CURB WITH 1/2" RADIUS TO MATCH MANHOLE MAIN.
3. CONCRETE SHALL BE 3000 PSI COMPACTED WITH 1/2" RADIUS TO MATCH MANHOLE MAIN.
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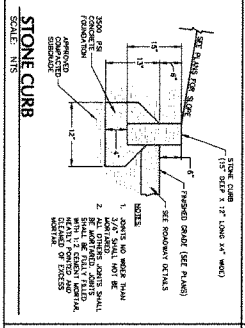
TYPICAL MODULAR BLOCK RETAINING WALL
SCALE: N1/S

NOTES:
1. THE WALL SHALL BE REINFORCED WITH REINFORCING BARS.
2. THE WALL SHALL BE REINFORCED WITH REINFORCING BARS.
3. THE WALL SHALL BE REINFORCED WITH REINFORCING BARS.
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9. THE WALL SHALL BE REINFORCED WITH REINFORCING BARS.
10. THE WALL SHALL BE REINFORCED WITH REINFORCING BARS.



ROADWAY SECTION FOR ROAD OPENING
SCALE: N1/S

NOTES:
1. SEE THE SPECIFICATIONS FOR LISTS OF PIPE CONNECTIONS TO MANHOLE MAIN.
2. CURB WITH 1/2" RADIUS TO MATCH MANHOLE MAIN.
3. CONCRETE SHALL BE 3000 PSI COMPACTED WITH 1/2" RADIUS TO MATCH MANHOLE MAIN.
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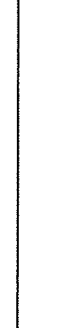
DRIVEAWAY SECTION
SCALE: N1/S

NOTES:
1. SEE THE SPECIFICATIONS FOR LISTS OF PIPE CONNECTIONS TO MANHOLE MAIN.
2. CURB WITH 1/2" RADIUS TO MATCH MANHOLE MAIN.
3. CONCRETE SHALL BE 3000 PSI COMPACTED WITH 1/2" RADIUS TO MATCH MANHOLE MAIN.
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6. CONCRETE SHALL BE 3000 PSI COMPACTED WITH 1/2" RADIUS TO MATCH MANHOLE MAIN.



STONE CURB
SCALE: N1/S

NOTES:
1. JOINTS NO WIDER THAN 1/2" SHALL BE USED.
2. JOINTS NO WIDER THAN 1/2" SHALL BE USED.
3. JOINTS NO WIDER THAN 1/2" SHALL BE USED.
4. JOINTS NO WIDER THAN 1/2" SHALL BE USED.
5. JOINTS NO WIDER THAN 1/2" SHALL BE USED.
6. JOINTS NO WIDER THAN 1/2" SHALL BE USED.



DEPRESSED BELGIAN BLOCK CURB AT DRIVEWAY
SCALE: N1/S

NOTES:
1. SEE THE SPECIFICATIONS FOR LISTS OF PIPE CONNECTIONS TO MANHOLE MAIN.
2. CURB WITH 1/2" RADIUS TO MATCH MANHOLE MAIN.
3. CONCRETE SHALL BE 3000 PSI COMPACTED WITH 1/2" RADIUS TO MATCH MANHOLE MAIN.
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6. CONCRETE SHALL BE 3000 PSI COMPACTED WITH 1/2" RADIUS TO MATCH MANHOLE MAIN.

REVISIONS

NO.	DATE	DESCRIPTION
1	07/07/2021	REVISED PER MILWAUKEE COMMENTS

PROJECT INFORMATION

PROJECT: HIGH MOUNTAIN ROAD
 LOCATION: ROMONA, NEW YORK
 CLIENT: ROMONA TOWN OF ROMONA, NEW YORK STATE
 DRAWING NO.: CS503
 SHEET: 5 OF 8

LANGAN
 LANDSCAPE ARCHITECTURE AND DESIGN, D.P.C.
 1945 WEST 17TH AVENUE, SUITE 100
 DENVER, CO 80202
 TEL: 303.733.8900
 WWW.LANGAN.COM

Slope Report

Surface File: P:\CIVIL TEC PROJECT FILES\4024 - 31 High Mtn Rd,
 Pomona\DATA\SURFACES\4024-0G.tin

Average Slope: 30.9%

Minimum Slope: 1.1% at 6705.8,6102.3

Maximum Slope: 746.1% at 6611.2,6130.6

Zone Range	Area S.F.	Acres	Horizontal Surface	Area S.F.	Acres	Slope Surface	Area S.F.	Acres	% of Total	Average Slope
1	6,086.4	0.140	6,109.7	0.140	0.140	15.1	7.9%			
2	11,628.5	0.267	11,883.2	0.273	0.273	28.8	20.9%			
3	13,476.4	0.309	14,056.3	0.323	0.323	33.4	29.6%			
4	9,183.1	0.211	11,184.4	0.257	0.257	22.7	60.9%			
Total	40,374.5	0.927	43,233.5	0.993						

October 7, 2022

Village of Pomona
100 Ladentown Road
Pomona, NY 10970

Re: 31 High Mountain Road
Pomona, NY 10970
Tax Lot 25.06-1-10

The attached plot plan has been revised based upon comments received from the consultants. Below please find an item by item response.

Comments from Nelson Pope Voorhis dated September 19, 2022

1. Please provide a narrative summary. A narrative is now provided.
2. The development of a single-family home on steep slopes requires site plan review under the provisions of Chapter 119 of the Village Code. A plan sheet with a CADD analysis of steep slopes and with a summary table should be submitted. On this sheet, the engineer should show the proposed area of disturbance. Within the geographic area proposed for disturbance, the drawing should show areas of moderately steep, very steep, and extremely steep slopes as defined in Section 119-1.A. These areas should be weighted, according to the methods in Section 119-1.C. A table of weighted slope areas within the area of disturbance should be provided. The threshold for Planning Board site plan review of a residence is met when there is 13,068 square feet or more of weighted area being disturbed. The steep slopes are listed on the plan. The entire lot is being disturbed so more than 13,068 SF of steep slopes are being disturbed.
3. Drywell calculations are required. A SWPPP should be submitted. A simplified SWPPP may be acceptable depending on the proposed area of disturbance. We will defer to the Village Engineer on review of stormwater management. Drywell calculations are provided. A NYSDEC SWPPP is not required as disturbance is less than 1 acre.
4. A set of floor plans for all levels has been provided, with the area of each level. We will defer to the Building Inspector on Building Code requirements, particularly egress from the basement areas. Comment noted.
5. Outdoor lighting details including cut sheets for fixtures, luminaire details and photometric spread should be included in a Lighting Plan. Lighting will be proposed on the residence and will comply with the Village's requirements.
6. A Bulk Requirements Table has been provided on Civil Tec sheet 1, showing the required standards of the R-40 District, and proposed bulk standards provided. We offer the following comments.
 - a. Please provide a specific height for the residence, rather than " ≤ 35 ft". The building height has been updated.
 - b. Maximum Lot Coverage is listed at 40% on Civil Tec sheet 1. A ZBA variance will be required for impervious surfaces over 15%. We note that

Civil Tec Engineering & Surveying P.C.

139 Lafayette Avenue, 2nd Floor, Suffern, NY 10901 Tel 845.547.2241 Fax 845.547.2243
55 Brookside Avenue, Chester, NY 10918 Tel 845.610.3621

Civil-Tec.com

on Sheet A000 of the Architectural plans, the architect incorrectly lists the lot coverage at 13.2%, but this value is actually the building coverage (area of building footprint divided by the site area). In this case the allowable lot coverage at the lot is almost entirely taken up by the building, which is quite large for a lot less than one acre. The lot coverage breakdown is now provided and the figure has been reduced to 19.9%.

7. We note that the west part of the site is retained by a triple retaining wall. Single retaining walls extend along the perimeter of the disturbed area around the rest of the site. Retaining walls are restricted to a maximum of ten (10) feet unless a waiver is obtained from the Planning Board. See Section 130-16.M(5), subparts a and e, from new local law. Waivers may only be granted by the Planning Board in cases at a site with special circumstances resulting in extraordinary hardships. In no event may a waiver be granted for walls higher than fifteen (15) feet. We note that on Civil Tec sheet 1, one small area of wall is slightly over 10 feet, as the southwest corner of the site. Please provide a waiver request to the Planning Board with justifications for any walls between ten and fifteen feet or redesign the site with additional tiered walls to meet the standards without waivers. Additional spot grades are now provided to keep the walls to a maximum of 10'. A waiver is requested due to the extreme slopes on the property. A series of walls has been proposed to reduce the impact to neighbors and create a stepping effect to minimize the visual impact of the elevation difference.

8. The triple walls on the west side are too close to the property line. Section 130-16.M(1) requires a 5-foot setback. Please move the wall set over unless a variance from the ZBA is obtained. The walls have been relocated to meet the 5' setback requirement.

9. Landscaping plans (Yost sheet CP-101) should be amended to show landscaping at both the top and bottom of all walls, with a minimum installation height of 4 feet. See section 130-16.M(2). The landscape architect will address.

10. We will defer to the Village Engineer's review of the drywells and stormwater management issues. Comment noted.

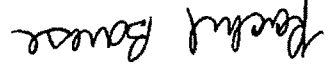
11. We recommend that the action be classified by the Planning Board as Type II, as the action is the development of single-family home on an approved lot, and therefore, no further SEQR steps will be needed. Comment noted.

Comments from Spence Engineering dated September 22, 2022

1. Provide standard notes including utilities service the property, etc. Notes are now provided.
2. Show drop curb across the driveway and provide detail. The drop curb is labeled and a detail is now provided.
3. Provide location of all utilities and connections (connections should be existing behind the curb line). Utility information is provided as available.
4. Provide detail drainage design supported by test pits for soil characteristics and presence of rock. Design should include any sub-drainage areas such as driveway connected to a single drywell. Preliminary calculations were provided.

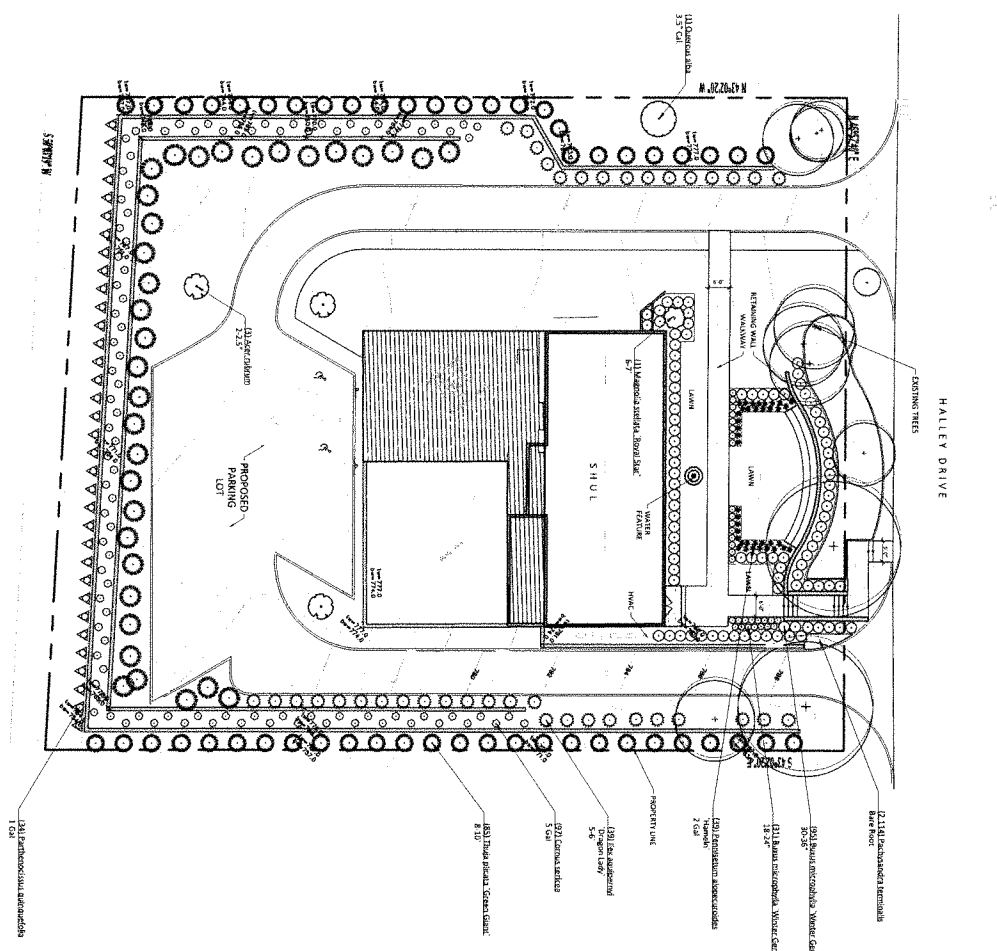
5. Provide notes all roof drains shall be connected to the subsurface drainage system and roof drain piping shall be minimum SDR 35 pipe material. A note has been added to the plan.
 6. Connection to the catch basin for overflow is noted at High Mountain Road (Road Opening Permit will be required). Overflow should be 6" (minimum SDR 35) to restrict flow. The overflow is now called to be a 6" pipe.
 7. Trench drain width shall be minimum 8" grate width and be connected with a 6" pipe. The trench drain has been revised.
 8. Show steep slope plan showing locations of slope categories to show disturbances and support slope analysis calculations. The calculations from Carlson are now provided.
 9. Provide area inlets at various locations at site. These can be 18"x18" NDS (plastic) inlets. They may be located at rear lawn and hardscape areas to minimize concentration of flows. Inlets are now provided.
 10. Provide retaining wall elevations, sections, materials and details, including width between tiers. Walls directly along the property line may offer challenges on constructability as a result of footing locations and excavations. Provide general details where final details and calculations will be required as part of any building permit submittal. Additional information is now provided. The walls are now at least 5' away from property lines.
 11. Provide conditions of TW at adjacent property at west and if fencing/barriers are required due to height drop off. A fence is now shown.
 12. Show additional contours between walls and label proposed contours. Additional contours and labels are now provided.
 13. Show intermediate locations of sit south of the seepage pit cluster from property line to driveway edge. Additional silt fence is now provided.
 14. Show area (SF and acres) which will be the LOD. Limits of disturbance are now provided.
 15. Provide/show how stormwater runoff may be anticipated and treated on site during the construction. A temporary detention basin may be constructed as part of the sequence of construction. The proposed pool is now called out as an area to be used as a temporary detention basin during construction.
- Please contact me at (845) 547-2241 or by email at rbarese@civil-tec.com with any questions or concerns you may have.

Sincerely,



Rachel Barese, P.E.

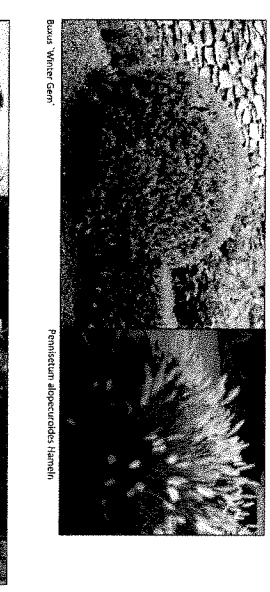
President



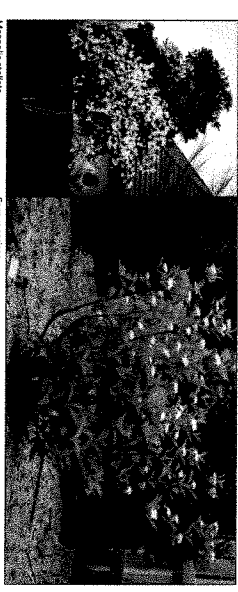
HALLEY DRIVE

PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE
1	<i>Asier radicans</i>	Red Spider	2-2.5"
2	<i>Thuja occidentalis</i>	Green Giant	6-7'
3	<i>Magnolia stellata</i>	Star Magnolia	6-7'
4	<i>Quercus alba</i>	White Oak	8-10"
5	<i>Quercus prinus</i>	Principle Bark Oak	8-10"
6	<i>Quercus macrocarpa</i>	Large Leaf White Oak	8-10"
7	<i>Quercus bicolor</i>	Swamp White Oak	8-10"
8	<i>Quercus prinus</i>	Principle Bark Oak	8-10"
9	<i>Quercus macrocarpa</i>	Large Leaf White Oak	8-10"
10	<i>Quercus bicolor</i>	Swamp White Oak	8-10"
11	<i>Quercus prinus</i>	Principle Bark Oak	8-10"
12	<i>Quercus macrocarpa</i>	Large Leaf White Oak	8-10"
13	<i>Quercus bicolor</i>	Swamp White Oak	8-10"
14	<i>Quercus prinus</i>	Principle Bark Oak	8-10"
15	<i>Quercus macrocarpa</i>	Large Leaf White Oak	8-10"
16	<i>Quercus bicolor</i>	Swamp White Oak	8-10"
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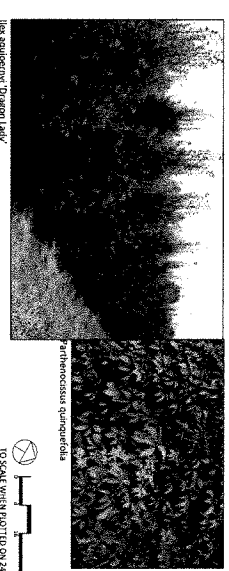
Prunella alpestris



Cercis canadensis



Quercus alba



Quercus prinus

TO SCALE WHEN PRINTED ON 24x36
 PROGRESS SET NOT FOR CONSTRUCTION

YO ST DESIGN LANDSCAPE ARCHITECTURE
 101 WEST 10TH STREET
 POMONA, NY 10970
 P 845.345.4095 | F 914.343.4473
 yostdesign.com

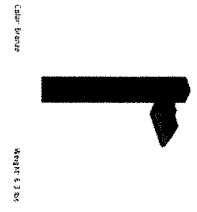
60 HALLEY DRIVE
 CLIENT STREET ADDRESS
 POMONA, NY 10970

DATE: JULY 21, 2022
 DRAWN BY: BAW
 SCALE: 1/8" = 1'-0"
 FILENAME: 2022_060460.dwg

REVISIONS:
 REVISION 16, 2022
 OCTOBER 7, 2022

SHEET NO. **CP-101**
 SHEET 1 OF 1

ALED26Y

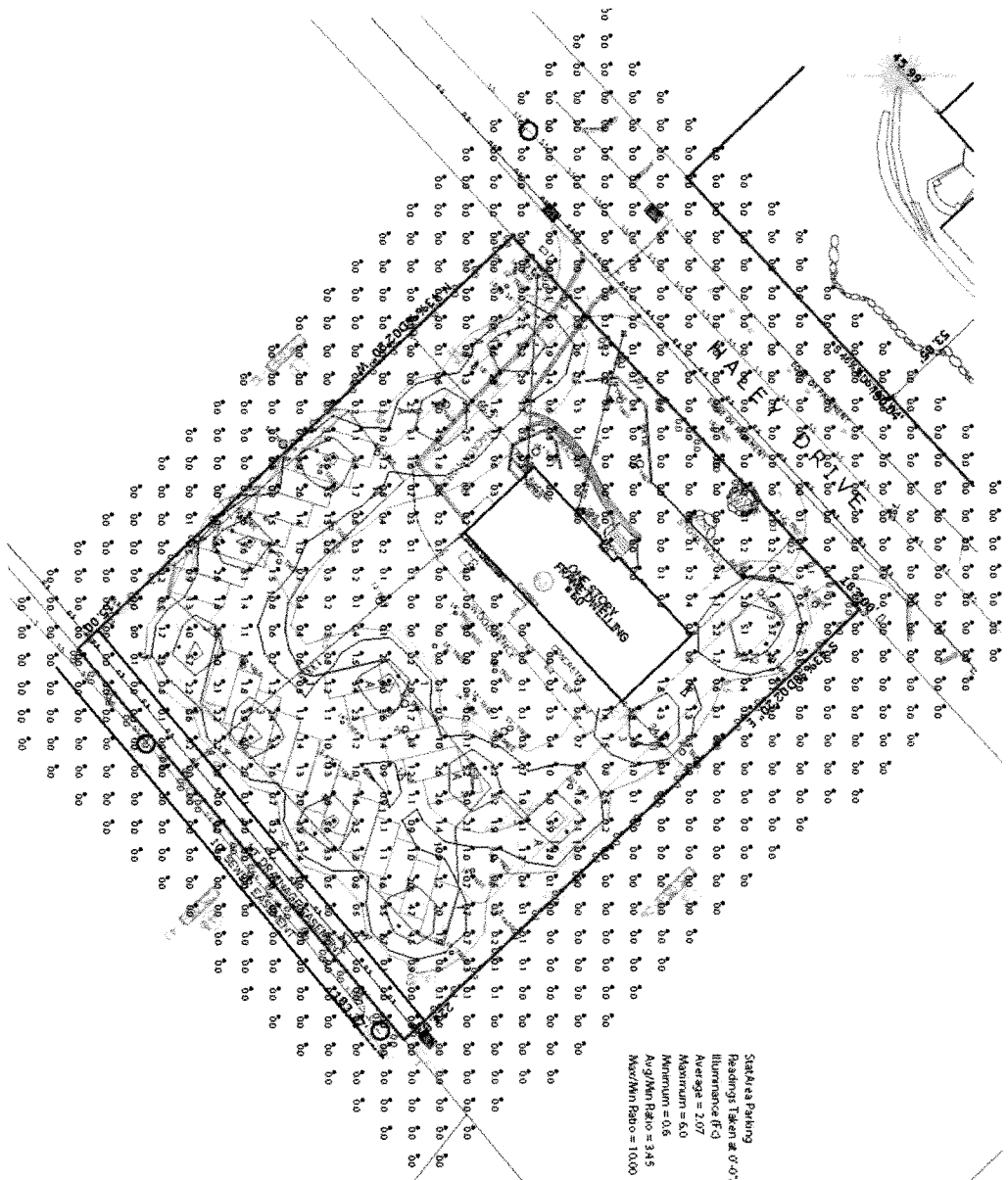


PS4-11-15D2
LIGHT DETAIL

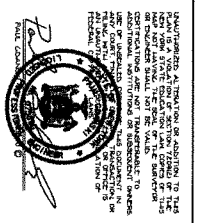
Support over road should be 7' clear light at 10' clearance for road required. Posts are sized as required to suit. *Optional: Postbase containing insulator. Clear Glass. Approx. 120 lbs. G.W.

POST DETAIL

NOTE:
1. COLOR PAINTING OF LIGHTS SHALL BE 5000 OR LESS
2. LIGHT HEIGHT IS 13 FEET AS INDICATED
3. LIGHT HEIGHT IS 13 FEET AS INDICATED



Item	Quantity	Unit	Notes
Street Light	1	Each	PS4-11-15D2
Post	1	Each	120 lbs. G.W.
Clear Glass	1	Each	13 ft Height
Paint	1	Each	5000 or less

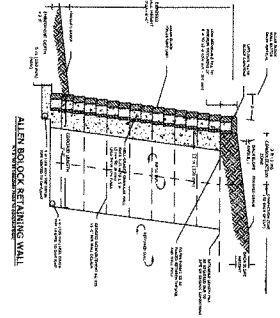
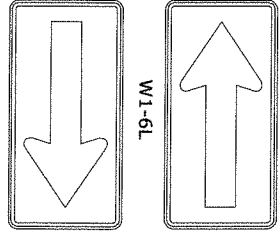


60 HALLLEY DRIVE
VILLAGE OF FORDHAM
ROCKLAND COUNTY, NEW YORK

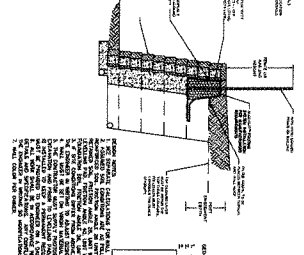
PAUL ADAMSKI P.E. PLLC
433 WINDSOR LANE
ROCKLAND COUNTY, NEW YORK
TEL: 914-938-0999

DATE: 11-20-2022
DRAWN BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]

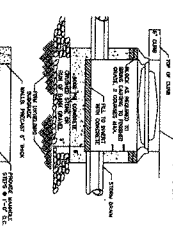
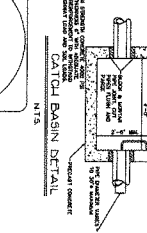
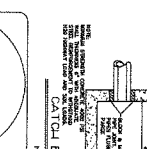
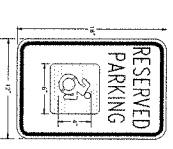
GRAPHIC SCALE
1" = 20' (IN FEET)
1" = 20' FT.



UNIT	ELEVATION	LENGTH
2	0.67	16'-0"
4	3.33	16'-0"
6	5.00	16'-0"
9	5.33	16'-0"
12	7.33	16'-0"

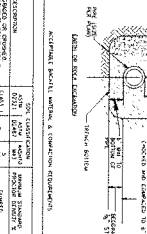
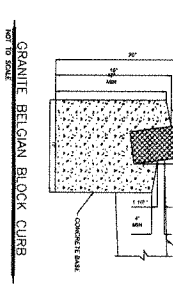


NOTE: OWNER IS RESPONSIBLE TO MAINTAIN ANY EROSION OF THE SLOPE CAUSED DUE TO THE SLOPE.

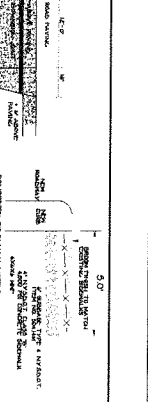
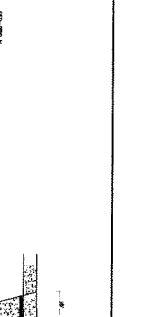
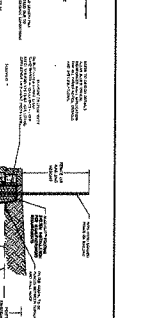
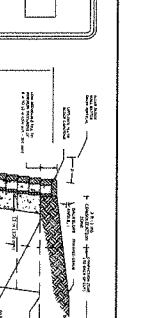
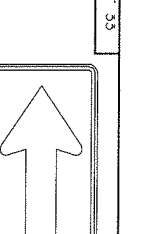
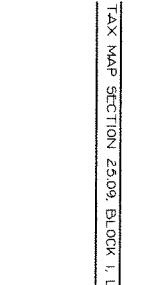
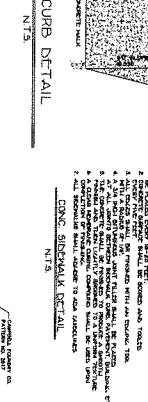
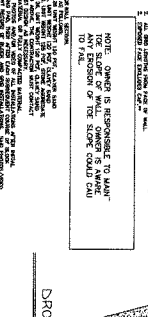
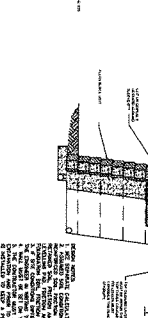
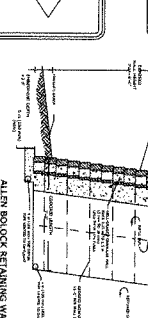
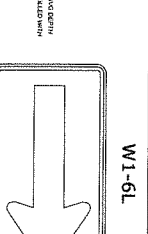
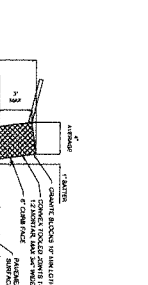
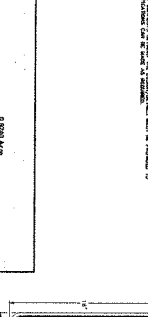
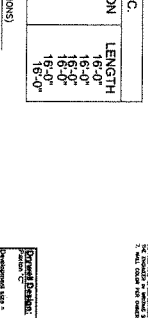
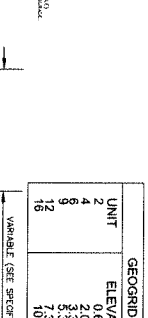
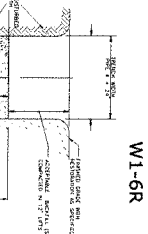
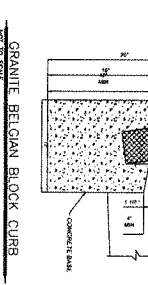
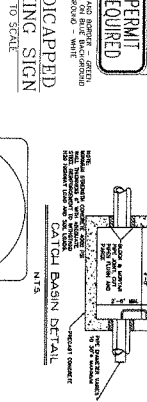
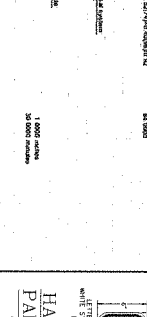
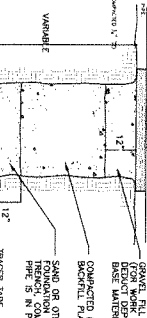
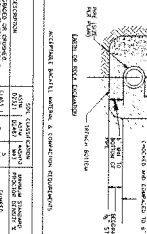
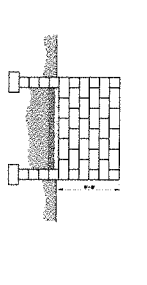
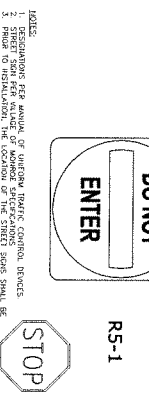
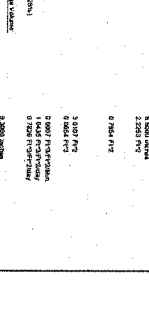
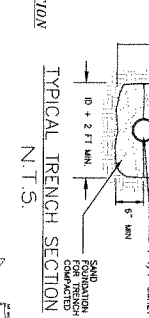
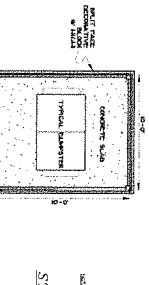
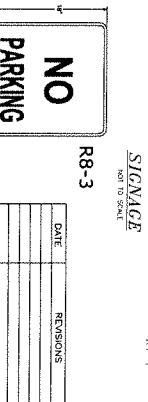
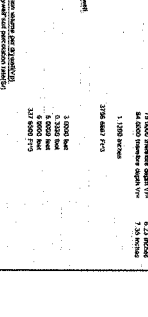
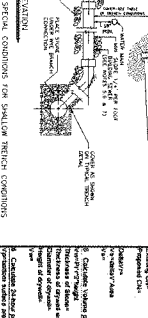
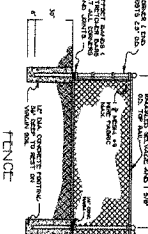
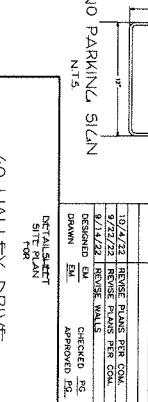
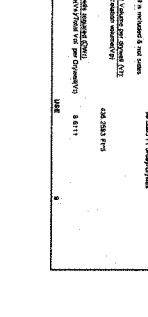
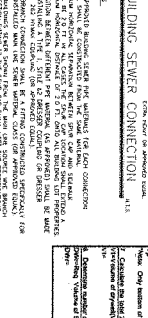
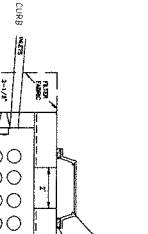
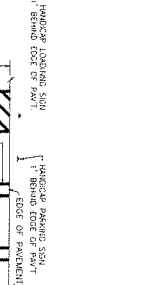
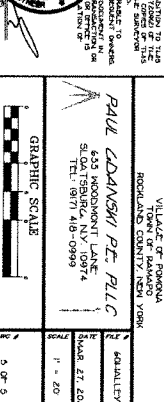
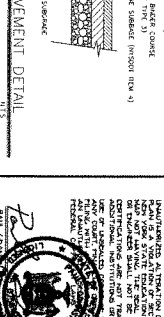
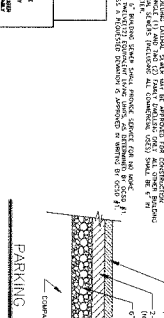
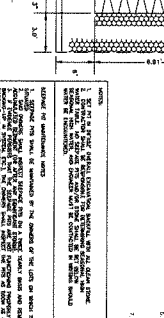
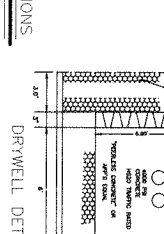
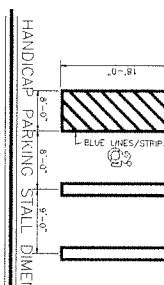
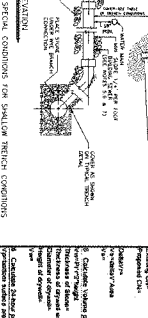
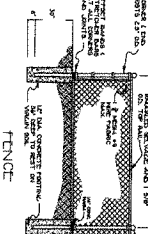
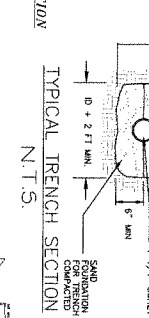


6'-0" CONC. SIDEWALK DETAIL

8'-0" CONC. SIDEWALK DETAIL



NO.	DESCRIPTION	UNIT	AMOUNT	PRICE	TOTAL
1	CONCRETE CURB	LINEAL FT.	16	1.00	16.00
2	CONCRETE TRENCH	LINEAL FT.	16	1.00	16.00
3	CONCRETE SIDEWALK	SQ. YD.	16	1.00	16.00
4	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
5	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
6	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
7	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
8	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
9	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
10	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
11	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
12	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
13	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
14	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
15	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
16	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
17	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
18	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
19	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
20	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
21	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
22	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
23	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
24	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
25	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
26	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
27	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
28	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
29	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
30	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
31	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
32	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
33	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
34	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
35	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
36	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
37	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
38	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
39	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
40	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
41	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
42	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
43	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
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79	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
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83	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
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99	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00
100	CONCRETE DRIVEWAY	SQ. YD.	16	1.00	16.00



60 HALLEY DRIVE
VILLAGE OF PARKVA
RICHMOND COUNTY, MISSOURI

PAUL CADANSKI P.E. PLLC
4433 WOODMONT LAKE
ST. LOUIS, MISSOURI 63114
TEL: 314.734.0999

GRAPHIC SCALE
1" = 20'

DATE: 10/2/23
DESIGNED BY: [Name]
CHECKED BY: [Name]
DRAWN BY: [Name]

REVISIONS

NO PARKING SIGN
HANDICAPPED PARKING SIGN
PERMIT REQUIRED SIGN
DO NOT ENTER SIGN
ENTER SIGN
STOP SIGN

SITE PLAN NOTES

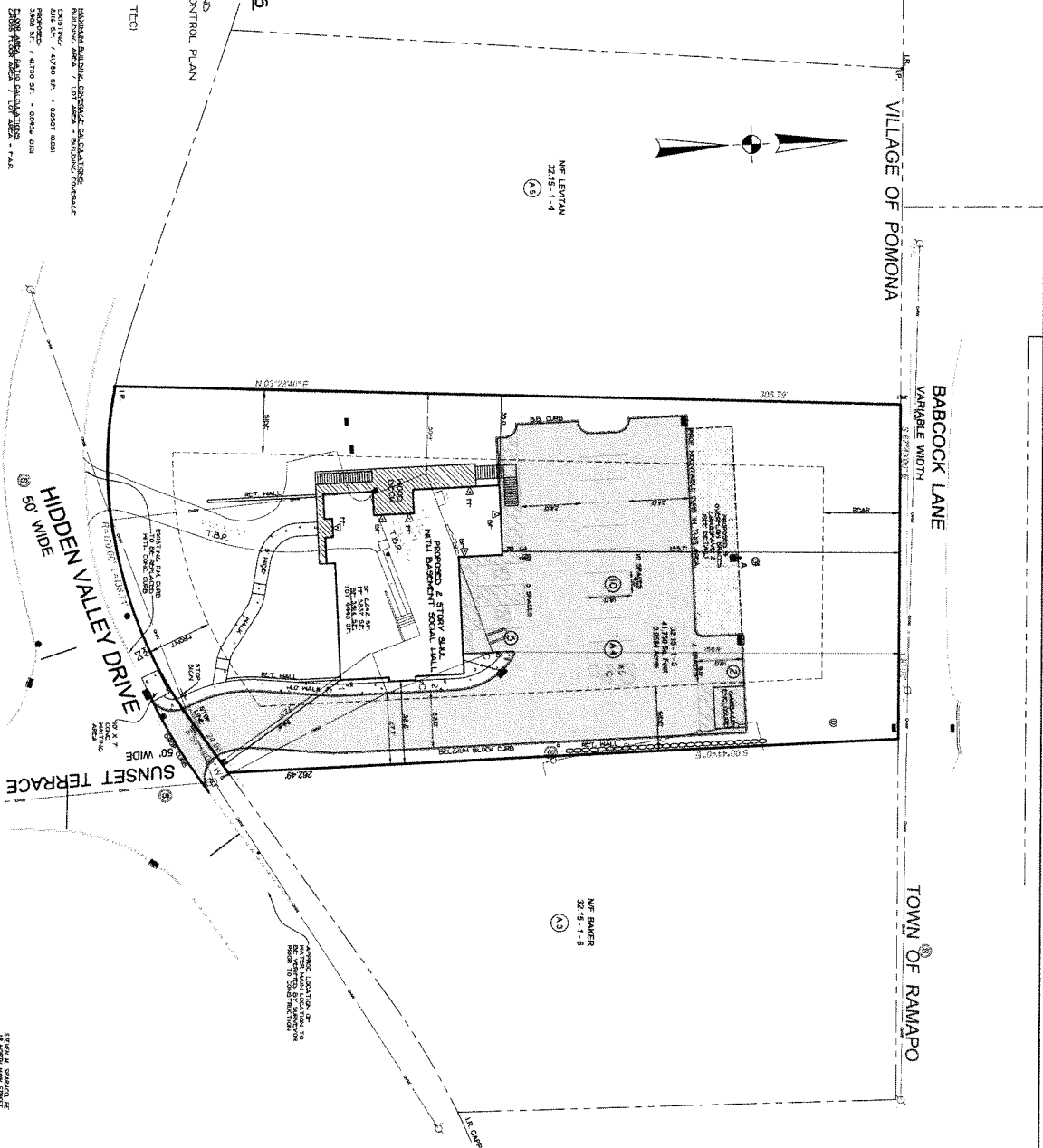
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2. ALL UTILITIES SHALL BE SHOWN AS LOCATED ON THE RECORD PLANS AND AS SHOWN ON THE SURVEY MAP.
3. ALL UTILITIES SHALL BE SHOWN AS LOCATED ON THE RECORD PLANS AND AS SHOWN ON THE SURVEY MAP.
4. ALL UTILITIES SHALL BE SHOWN AS LOCATED ON THE RECORD PLANS AND AS SHOWN ON THE SURVEY MAP.
5. ALL UTILITIES SHALL BE SHOWN AS LOCATED ON THE RECORD PLANS AND AS SHOWN ON THE SURVEY MAP.
6. ALL UTILITIES SHALL BE SHOWN AS LOCATED ON THE RECORD PLANS AND AS SHOWN ON THE SURVEY MAP.
7. ALL UTILITIES SHALL BE SHOWN AS LOCATED ON THE RECORD PLANS AND AS SHOWN ON THE SURVEY MAP.
8. ALL UTILITIES SHALL BE SHOWN AS LOCATED ON THE RECORD PLANS AND AS SHOWN ON THE SURVEY MAP.
9. ALL UTILITIES SHALL BE SHOWN AS LOCATED ON THE RECORD PLANS AND AS SHOWN ON THE SURVEY MAP.
10. ALL UTILITIES SHALL BE SHOWN AS LOCATED ON THE RECORD PLANS AND AS SHOWN ON THE SURVEY MAP.

SCHEDULE OF DRAWINGS

- | DRAWING NO. | DESCRIPTION |
|-------------|---------------------------------|
| #1 | PLANNING PLAN |
| #2 | EROSION & SEDIMENT CONTROL PLAN |
| #3 | ROAD LIGHTING PLAN |
| #4 | DETAILS SHEET 1 |
| #5 | LANDSCAPE PLAN |
| #6 | LANDSCAPE PLAN |
| #7 | SURVEY MAP BY CIVIL TECH |

PROPOSED PROJECT
PROPOSED PROJECT
PROPOSED PROJECT

PROPOSED PROJECT
PROPOSED PROJECT
PROPOSED PROJECT



BULK TABLE

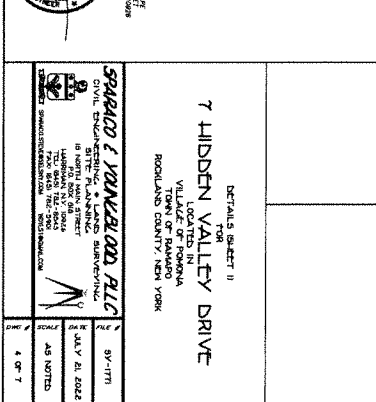
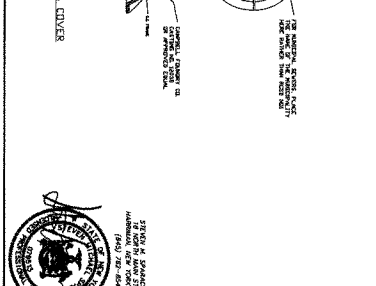
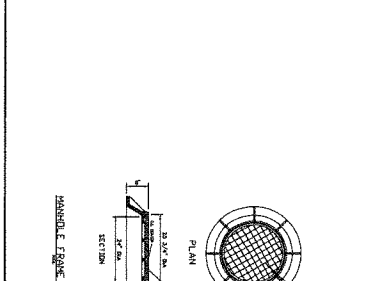
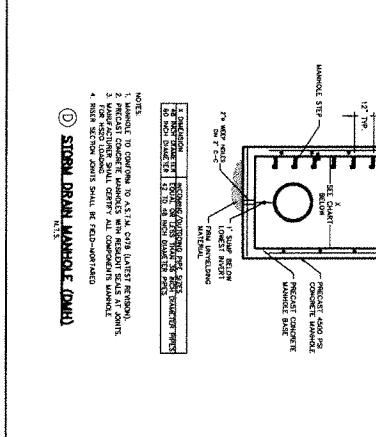
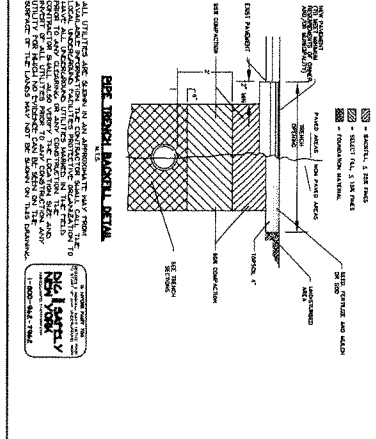
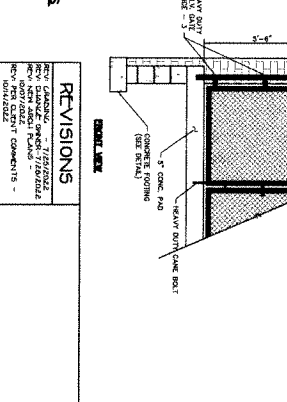
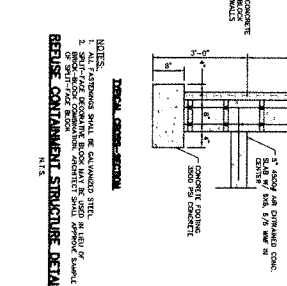
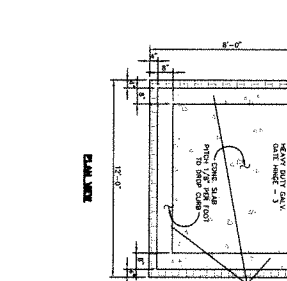
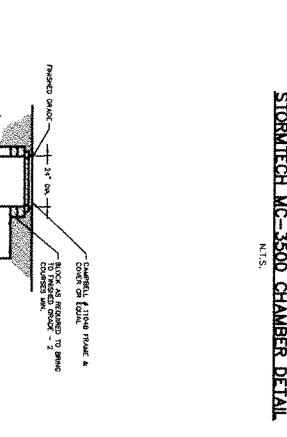
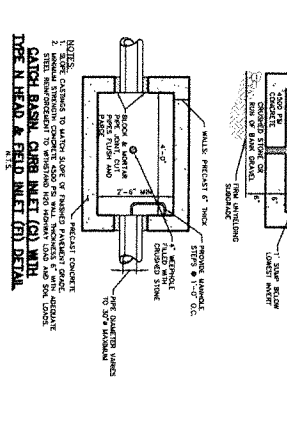
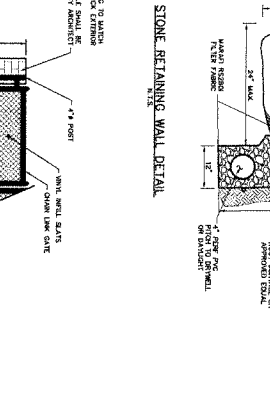
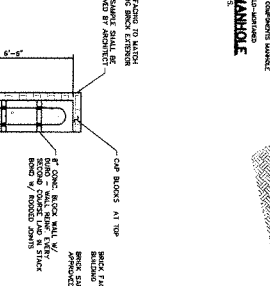
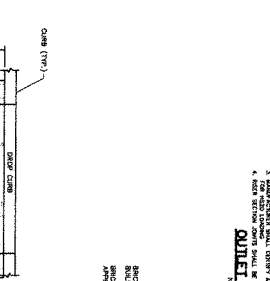
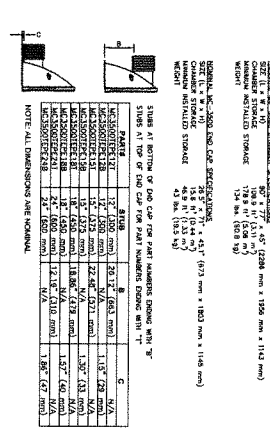
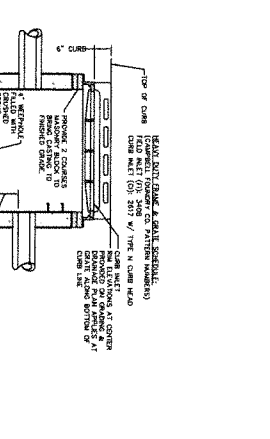
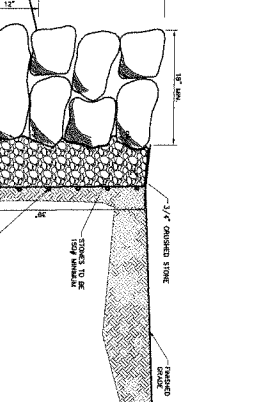
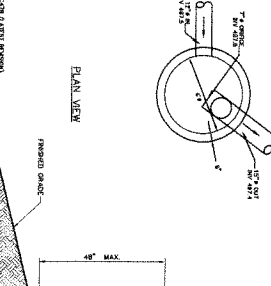
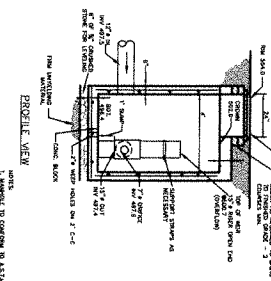
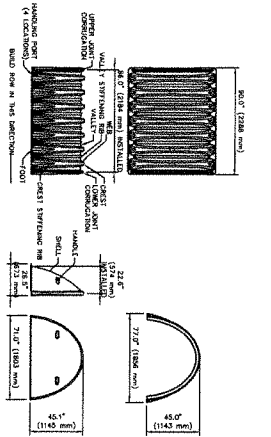
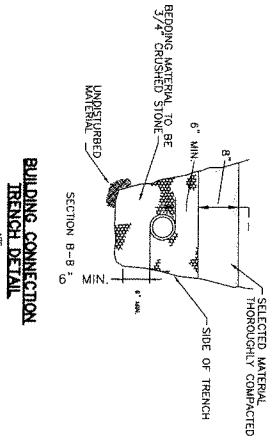
AREA	TYPE	AREA (SQ FT)	PERCENTAGE	MAXIMUM HEIGHT (FT)	MAXIMUM SETBACK (FT)	MAXIMUM FLOOR AREA (SQ FT)	MAXIMUM NUMBER OF UNITS
RESIDENTIAL	RESIDENTIAL	10,000	10%	10	10	10,000	10
COMMERCIAL	COMMERCIAL	20,000	20%	20	20	20,000	20
INDUSTRIAL	INDUSTRIAL	50,000	50%	50	50	50,000	50

REVISIONS

NO.	DATE	DESCRIPTION
1	10/15/2022	ISSUED FOR PERMIT
2	11/01/2022	REVISED PER COMMENTS

PLANNING PLAN
FOR
7 HIDDEN VALLEY DRIVE
LOCATED IN
VILLAGE OF POMONA
ROCKLAND COUNTY, NEW YORK

SPARCO & YOUNG/ROD PLLC
CIVIL ENGINEER
800 WEST 10TH STREET
TEANECK, NJ 07646
TEL: 201-261-1000
FAX: 201-261-1001
WWW.SPARCO.COM



SECTION	DESCRIPTION	WIDTH	DEPTH	HEIGHT
SECTION A-A	HEAD AND FIELD INLET (ON DETAIL)	18\"/>		
SECTION B-B	BUILDING CONNECTION TRENCH DETAIL	18\"/>		
SECTION C-C	STORMTECH MC-3500 CHAMBER DETAIL	18\"/>		
SECTION D-D	STORM DRAIN MANHOLE (COM)	18\"/>		
SECTION E-E	STORM DRAIN MANHOLE (COM)	18\"/>		
SECTION F-F	STONE RETAINING WALL DETAIL	18\"/>		
SECTION G-G	HEAD AND FIELD INLET (ON DETAIL)	18\"/>		
SECTION H-H	HEAD AND FIELD INLET (ON DETAIL)	18\"/>		
SECTION I-I	STORMTECH MC-3500 CHAMBER DETAIL	18\"/>		
SECTION J-J	STORMTECH MC-3500 CHAMBER DETAIL	18\"/>		
SECTION K-K	STORMTECH MC-3500 CHAMBER DETAIL	18\"/>		
SECTION L-L	STORMTECH MC-3500 CHAMBER DETAIL	18\"/>		
SECTION M-M	STORMTECH MC-3500 CHAMBER DETAIL	18\"/>		
SECTION N-N	STORMTECH MC-3500 CHAMBER DETAIL	18\"/>		
SECTION O-O	STORMTECH MC-3500 CHAMBER DETAIL	18\"/>		
SECTION P-P	STORMTECH MC-3500 CHAMBER DETAIL	18\"/>		
SECTION Q-Q	STORMTECH MC-3500 CHAMBER DETAIL	18\"/>		
SECTION R-R	STORMTECH MC-3500 CHAMBER DETAIL	18\"/>		
SECTION S-S	STORMTECH MC-3500 CHAMBER DETAIL	18\"/>		
SECTION T-T	STORMTECH MC-3500 CHAMBER DETAIL	18\"/>		
SECTION U-U	STORMTECH MC-3500 CHAMBER DETAIL	18\"/>		

REVISIONS

NO.	DATE	DESCRIPTION
1	04/11/2024	ISSUED FOR PERMITS
2	04/11/2024	ISSUED FOR PERMITS
3	04/11/2024	ISSUED FOR PERMITS

DETAILS SHEET II

7 HIDDEN VALLEY DRIVE

VILLAGE OF POWERS

TOWN OF POWERS

ROCKLAND COUNTY, NEW YORK

SPADARO & VANBLAD, PLLC

100 WEST 10TH STREET

NEW YORK, NY 10011

TEL: 212-692-1234

FAX: 212-692-1234

WWW.SPADAROANDVANBLAD.COM

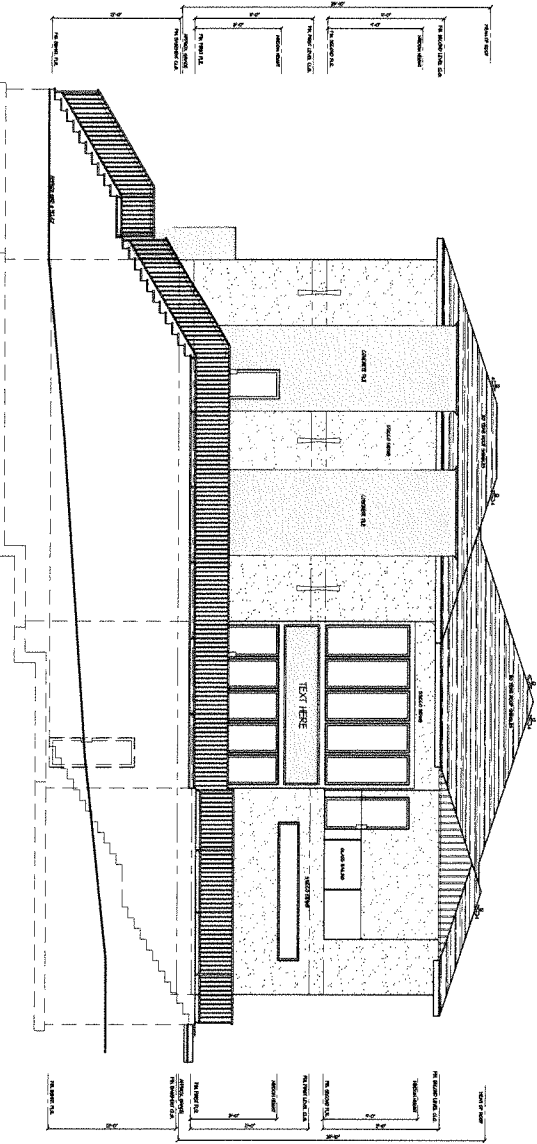
DATE: 04/11/2024

SCALE: AS NOTED

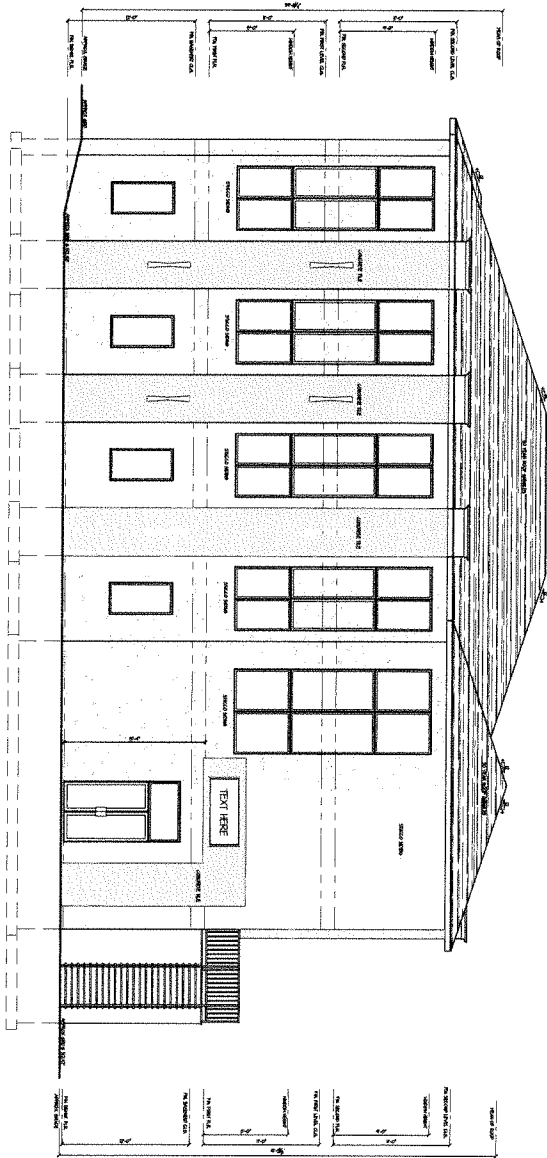
4 OF 7



1 LEFT ELEVATION
SCALE: 3/8" = 1'-0"



1 REAR ELEVATION
SCALE: 3/8" = 1'-0"



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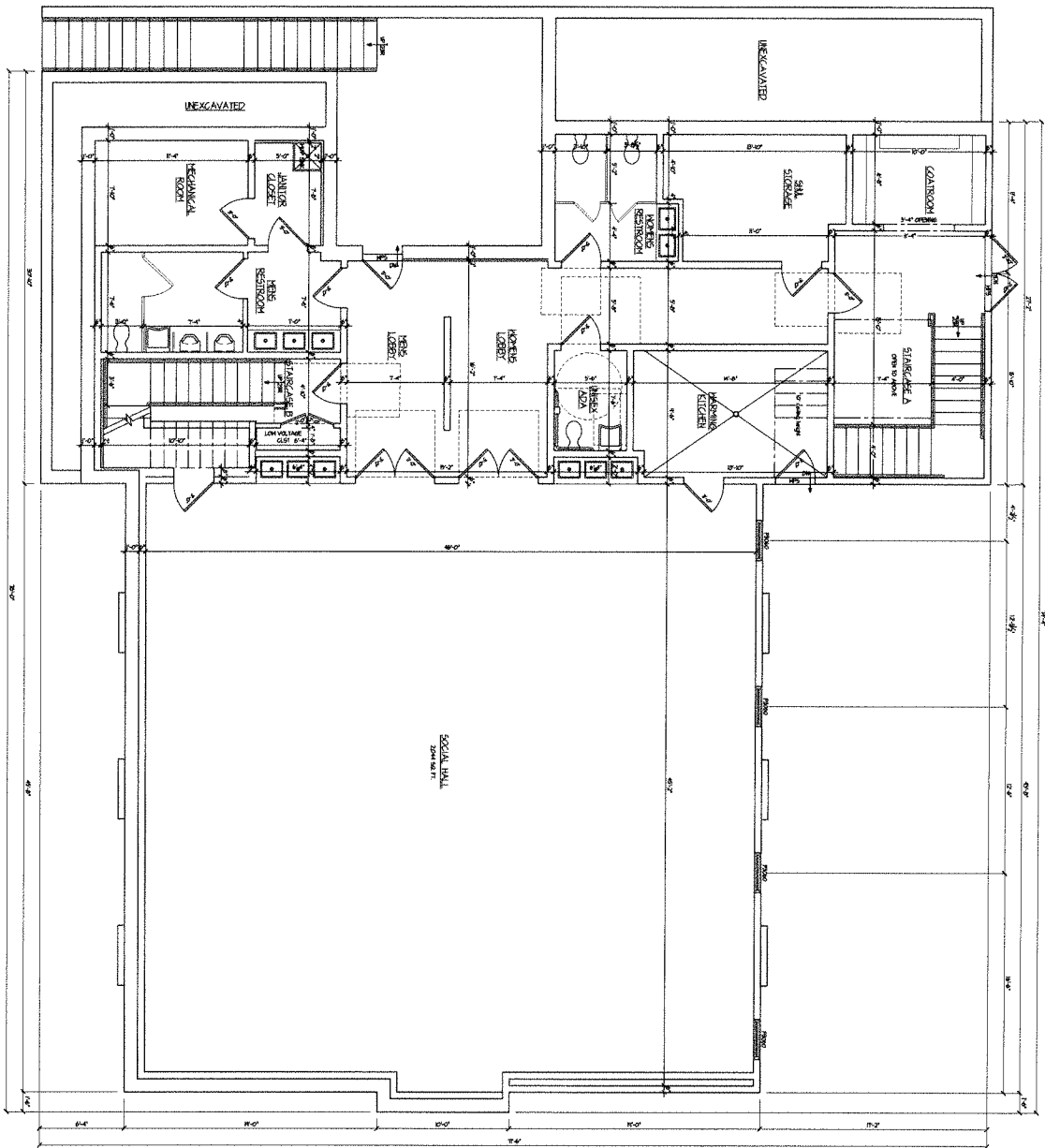
**WILLIAM
BATEMAN
ARCHITECT**

144 Route 59, Suite 2
Suffern, NY 10901
Tel: 845.517.0094
Fax: 845.517.0095

PROPOSED NEW 3 STORY CONSTRUCTION FOR:
TIFERES TEFILAH SHUL
32.15 - 1 - 5
7 HIDDEN VALLEY DRIVE, SUFFERN, NY 10901
VILLAGE OF POMONA, ROCKLAND COUNTY, NY

PROJECT NO.	L-0422
DATE	H.L.
SCALE	3/8" = 1'-0"
CONSULTANT'S NAME	REAR & LEFT EXTENSION ELEVATIONS
PROJECT NO.	L-0422
DATE	H.L.
SCALE	3/8" = 1'-0"
CONSULTANT'S NAME	REAR & LEFT EXTENSION ELEVATIONS

SHEET NO.
A-2 of 5



1 BASEMENT FLOOR PLAN - 3914 SQ. FT.
SCALE: 1/4" = 1'-0"

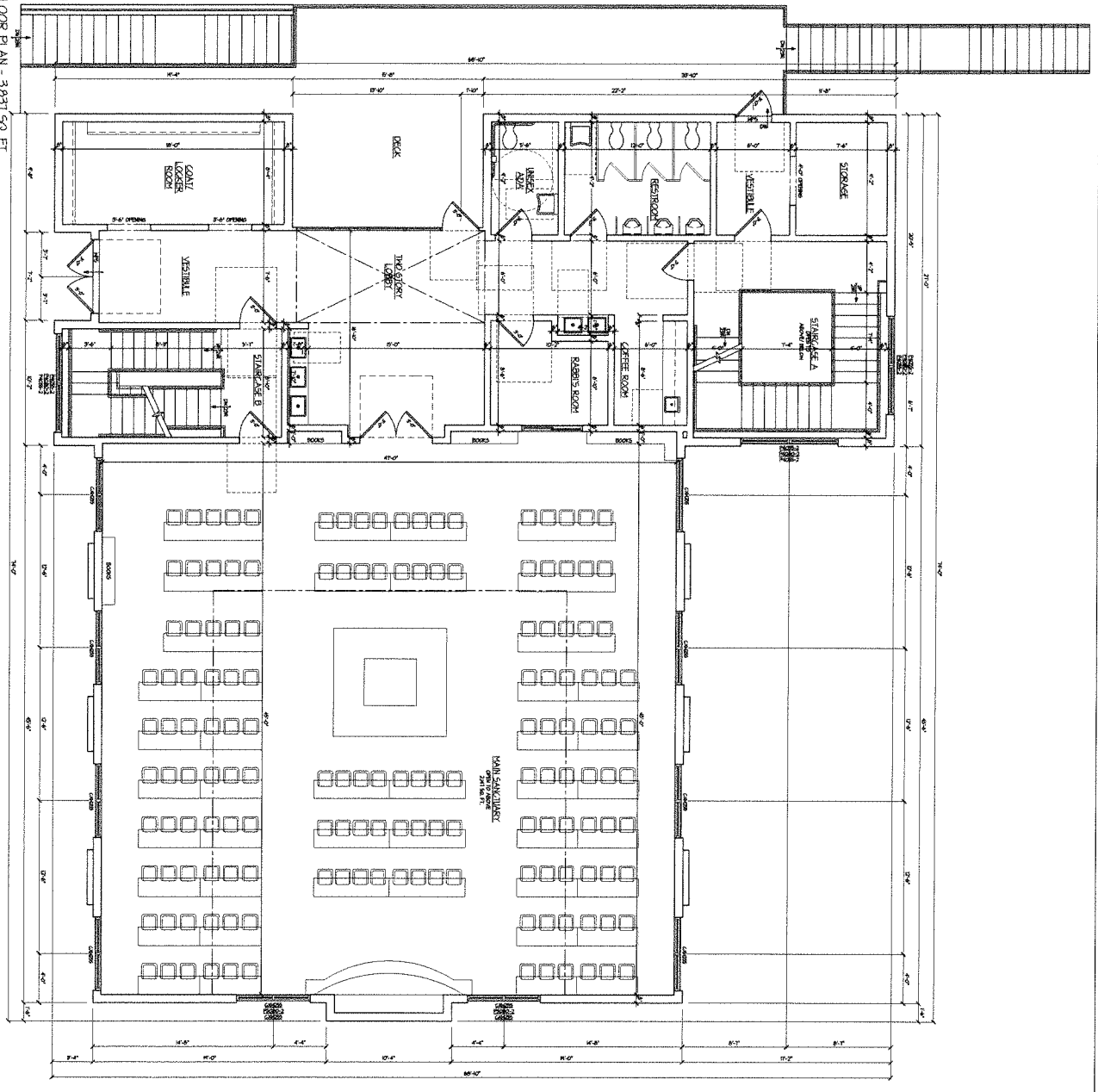
APPROXIMATE FLOOR AREA	
FINISHED FLOOR AREA	3914 SQ. FT.
UNFINISHED FLOOR AREA	3914 SQ. FT.
TOTAL FINISHED FLOOR AREA	3914 SQ. FT.
SQ. FT. CALCULATION AND ROUNDED UP TO BE SHOWN OVER	

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PROJECT NO. L-0322
 DRAWING NO. H.L.
 SCALE: 1/4" = 1'-0"
 CONTENT OF THIS SHEET:
 BASEMENT FLOOR PLAN
 SHEET NO. A-3 of 5

DATE: 04/07/22, 04/14/22, 04/21/22, 04/28/22, 05/05/22, 05/12/22, 05/19/22, 05/26/22, 06/02/22, 06/09/22, 06/16/22, 06/23/22, 06/30/22, 07/07/22, 07/14/22, 07/21/22, 07/28/22, 08/04/22, 08/11/22, 08/18/22, 08/25/22, 09/01/22, 09/08/22, 09/15/22, 09/22/22, 09/29/22, 10/06/22, 10/13/22, 10/20/22, 10/27/22, 11/03/22, 11/10/22, 11/17/22, 11/24/22, 12/01/22, 12/08/22, 12/15/22, 12/22/22, 12/29/22, 01/05/23, 01/12/23, 01/19/23, 01/26/23, 02/02/23, 02/09/23, 02/16/23, 02/23/23, 02/28/23, 03/06/23, 03/13/23, 03/20/23, 03/27/23, 04/03/23, 04/10/23, 04/17/23, 04/24/23, 05/01/23, 05/08/23, 05/15/23, 05/22/23, 05/29/23, 06/05/23, 06/12/23, 06/19/23, 06/26/23, 07/03/23, 07/10/23, 07/17/23, 07/24/23, 07/31/23, 08/07/23, 08/14/23, 08/21/23, 08/28/23, 09/04/23, 09/11/23, 09/18/23, 09/25/23, 10/02/23, 10/09/23, 10/16/23, 10/23/23, 10/30/23, 11/06/23, 11/13/23, 11/20/23, 11/27/23, 12/04/23, 12/11/23, 12/18/23, 12/25/23, 01/01/24, 01/08/24, 01/15/24, 01/22/24, 01/29/24, 02/05/24, 02/12/24, 02/19/24, 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1 FIRST FLOOR PLAN - 3231 SQ. FT.
SCALE: 1/4" = 1'-0"



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SHEET NO. **A-4 of 5**

PROJECT NO. L-0022
 DRAWN BY H.L.
 SCALE 1/4" = 1'-0"
 CONTEXT OF THE SHEET
 FIRST FLOOR PLAN

DATE: 08.07.22 10:00 AM (ONLY)
 08.10.22 10:00 AM (ONLY)
 08.09.22 10:00 AM (ONLY)
 08.31.22 10:00 AM (ONLY)
 08.08.22 10:00 AM (ONLY)
 08.23.22 10:00 AM (ONLY)

SCALE: H.L.

PROPOSED NEW 3 STORY CONSTRUCTION FOR:
TIFERES TEFILAH SHUL
 32.15 - 1 - 5
 7 HIDDEN VALLEY DRIVE, SUFFERN, NY 10901
 VILLAGE OF POMONA, ROCKLAND COUNTY, NY

144 Route 59, Suite 2
 Suffern, NY 10901
 Tel. 845.517.0094
 Fax. 845.517.0095

WILLIAM BATEMAN ARCHITECT

**Full Environmental Assessment Form
Part 1 - Project and Setting**

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Congregation Tiferes Tefillah		
Project Location (describe, and attach a general location map): North side of Hidden Valley Drive, opposite Sunset Terrace, in the Village of Pomona, Town of Ramapo, Rockland County		
Brief Description of Proposed Action (include purpose or need): This project is the for the construction of a proposed Synagogue with an appropriate parking area and drainage.		
Name of Applicant/Sponsor: Yehuda A. Levitan		Telephone: 732-267-5852
		E-Mail: Rabbiarlevitan@gmail.com
Address: 9 Hidden Valley Drive		
City/PO: Suffern	State: NY	Zip Code: 10901
Project Contact (if not same as sponsor; give name and title/role): David Leizer		Telephone: 845-222-1179
		E-Mail: david@dnldevelopers.com
Address: 4 Ayden Court		
City/PO: Suffern	State: NY	Zip Code: 10901
Property Owner (if not same as sponsor): ZED Equities		Telephone:
		E-Mail:
Address: 11 North Airmont Road Suite 111		
City/PO: Suffern	State: NY	Zip Code: 10901

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Special Permit	August 2022
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Village of Pomona Planning Board	August 2022
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Rockland County Health Dep't. and Ramapo DPW	
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
 If Yes, what is the zoning classification(s) including any applicable overlay district?
R-40

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
 If Yes,
 i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? East Ramapo Central School District

b. What police or other public protection forces serve the project site?
Town of Ramapo Police

c. Which fire protection and emergency medical services serve the project site?
Monsey Fire Company # 1

d. What parks serve the project site?
Willow Tree Park, Mt. Ivy County Park, Harriman State Park, Palisades Interstate Park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? The proposed action is a synagogue (Neighborhood House of Worship)

b. a. Total acreage of the site of the proposed action? _____ 0.96 acres
 b. Total acreage to be physically disturbed? _____ 0.96 acres
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ 0.96 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
 If Yes,
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

 ii. Is a cluster/conservation layout proposed? Yes No
 iii. Number of lots proposed? _____
 iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No
 i. If No, anticipated period of construction: _____ months
 ii. If Yes:
 • Total number of phases anticipated _____
 • Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
 • Anticipated completion date of final phase _____ month _____ year
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures 1

ii. Dimensions (in feet) of largest proposed structure: 39.7 height; 69 width; and 74 length

iii. Approximate extent of building space to be heated or cooled: 10,200 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No
 If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No
 If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No
 If Yes:

i. Total anticipated water usage/demand per day: _____ 681 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No
 If Yes:

- Name of district or service area: Veolia
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No
 If, Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No
 If Yes:

i. Total anticipated liquid waste generation per day: _____ 681 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____
Sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No
 If Yes:

- Name of wastewater treatment plant to be used: Rockland County Sewer District # 1
- Name of district: Benefit Area # 5
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

- Do existing sewer lines serve the project site? Yes No
- Will a line extension within an existing district be necessary to serve the project? Yes No

 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:

- How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
- Describe types of new point sources. _____
- Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

 - If to surface waters, identify receiving water bodies or wetlands: _____
 - Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:

- Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)
 fleet or delivery vehicles _____
- Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

- Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:

- Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
- In addition to emissions as calculated in the application, the project will generate:
 - _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 - _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 - _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 - _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 - _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
 - _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):
O&RU grid. _____

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: _____ 8 a.m. - 5 a.m.
- Saturday: _____
- Sunday: _____
- Holidays: _____

ii. During Operations:

- Monday - Friday: _____
- Saturday: _____
- Sunday: _____
- Holidays: _____

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No

If yes:

i. Provide details including sources, time of day and duration:
Heavy equipment during construction 8 a.m. to 5 a.m. Monday thru Friday

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: Existing Vegetation screening will be removed.

n. Will the proposed action have outdoor lighting? Yes No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
Parking area and driveway lighting on poles > 14' in height. All lighting "Dark Skies rated".

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: Existing vegetation screening will be removed. However, new landscaping is to be proposed to provide a landscaped buffer.

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No

If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No

If Yes:

i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: _____ 50 tons per _____ 1 yr. of construction (unit of time)
- Operation : _____ 19 tons per _____ year (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: Metal, cardboard, glass and plastics are separated and recycled.
- Operation: Metal, cardboard, glass and plastics are separated and recycled and picked up by a recycled waste hauler.

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: After the recycled waste is removed all other debris are brought to a local disposal sorting station.
- Operation: After recycled waste is removed all other waste is picked up by a private waste hauler.

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban Industrial Commercial Residential (suburban) Rural (non-farm)

Forest Agriculture Aquatic Other (specify): _____

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.10	0.49	+0.39
• Forested	0.10	0.00	-0.10
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0.76	0.47	-0.29
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____
iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? > 10' by deep hole test feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site: Weathersfield gravelly silt loam 100 %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: > 10' feet

e. Drainage status of project site soils: Well Drained: 100 % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained: _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: 80 % of site
 10-15%: 15 % of site
 15% or greater: 5 % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? **Note: Automatic NYSDEC Mapper response, however no visible evidence appears to exist on the site supporting claim.* Yes No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:

i. Name of aquifer: Sole Source Aquifer Names: Ramapo SSA

m. Identify the predominant wildlife species that occupy or use the project site:		
Deer _____	Birds _____	Rodents _____
Raccoons _____	_____	_____
n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
If Yes:		
i. Describe the habitat/community (composition, function, and basis for designation): _____		
ii. Source(s) of description or evaluation: _____		
iii. Extent of community/habitat:		
• Currently: _____ acres		
• Following completion of project as proposed: _____ acres		
• Gain or loss (indicate + or -): _____ acres		
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
If Yes:		
i. Species and listing (endangered or threatened): _____		
Timber Rattlesnake		
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
If Yes:		
i. Species and listing: _____		
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
If yes, give a brief description of how the proposed action may affect that use: _____		

E.3. Designated Public Resources On or Near Project Site		
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
If Yes, provide county plus district name/number: _____		
b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. If Yes: acreage(s) on project site? _____		
ii. Source(s) of soil rating(s): _____		
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
If Yes:		
i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature		
ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____		

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
If Yes:		
i. CEA name: _____		
ii. Basis for designation: _____		
iii. Designating agency and date: _____		

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Yes No

If Yes:

i. Nature of historic/archaeological resource: Archaeological Site Historic Building or District

ii. Name: _____

iii. Brief description of attributes on which listing is based: _____

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? Yes No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? Yes No

If Yes:

i. Describe possible resource(s): _____

ii. Basis for identification: _____

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? Yes No

If Yes:

i. Identify resource: Palisades Interstate Park, and Harriman State Park

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): Interstate and State Parks

iii. Distance between project and resource: _____ 0.66 miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? Yes No

If Yes:

i. Identify the name of the river and its designation: _____

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? Yes No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

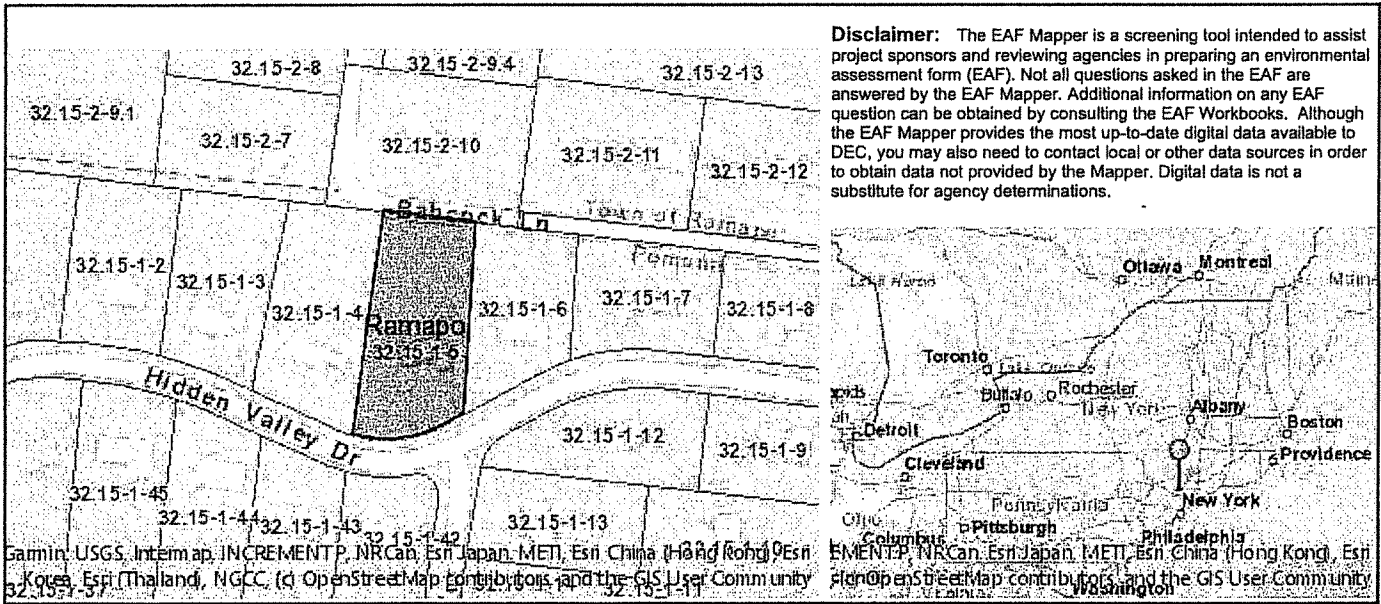
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Yehuda A. Levitan Date 10/13/22

Signature  Title Rabbi, Applicant



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Garmin; USGS; Intermap; INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Sole Source Aquifer Names: Ramapo SSA
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes

E.2.o. [Endangered or Threatened Species - Name]	Timber Rattlesnake
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

**Full Environmental Assessment Form
Part 1 - Project and Setting**

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Congregation Tiferes Tefillah		
Project Location (describe, and attach a general location map): North side of Hidden Valley Drive, opposite Sunset Terrace, in the Village of Pomona, Town of Ramapo, Rockland County		
Brief Description of Proposed Action (include purpose or need): This project is the for the construction of a proposed Synagogue with an appropriate parking area and drainage.		
Name of Applicant/Sponsor: Yehuda A. Levitan		Telephone: 732-267-5852
		E-Mail: Rabbiarilevitan@gmail.com
Address: 9 Hidden Valley Drive		
City/PO: Suffern	State: NY	Zip Code: 10901
Project Contact (if not same as sponsor; give name and title/role): David Leizer		Telephone: 845-222-1179
		E-Mail: david@dnldevelopers.com
Address: 4 Ayden Court		
City/PO: Suffern	State: NY	Zip Code: 10901
Property Owner (if not same as sponsor): ZED Equities		Telephone:
		E-Mail:
Address: 11 North Airmont Road Suite 111		
City/PO: Suffern	State: NY	Zip Code: 10901

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, or Village Board of Trustees <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Special Permit	August 2022
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Village of Pomona Planning Board	August 2022
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Rockland County Health Dep't. and Ramapo DPW	
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

C. Planning and Zoning

C.1. Planning and zoning actions.	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 	
C.2. Adopted land use plans.	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, identify the plan(s):	

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, identify the plan(s):	

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?
R-40

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
If Yes,
i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? East Ramapo Central School District

b. What police or other public protection forces serve the project site?
Town of Ramapo Police

c. Which fire protection and emergency medical services serve the project site?
Monsey Fire Company # 1

d. What parks serve the project site?
Willow Tree Park, Mt. Ivy County Park, Harriman State Park, Palisades Interstate Park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? The proposed action is a synagogue (Neighborhood House of Worship)

b. a. Total acreage of the site of the proposed action? 0.96 acres
b. Total acreage to be physically disturbed? 0.96 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 0.96 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
If Yes,
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) _____
ii. Is a cluster/conservation layout proposed? Yes No
iii. Number of lots proposed? _____
iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No
i. If No, anticipated period of construction: _____ months
ii. If Yes:
• Total number of phases anticipated _____
• Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
• Anticipated completion date of final phase _____ month _____ year
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures 1

ii. Dimensions (in feet) of largest proposed structure: 39.7 height; 69 width; and 74 length

iii. Approximate extent of building space to be heated or cooled: 10,200 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)

If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No
 If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No
 If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No
 If Yes:

i. Total anticipated water usage/demand per day: _____ 681 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No
 If Yes:

- Name of district or service area: Veolia
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No
 If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No
 If Yes:

i. Total anticipated liquid waste generation per day: _____ 681 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____
Sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No
 If Yes:

- Name of wastewater treatment plant to be used: Rockland County Sewer District # 1
- Name of district: Benefit Area # 5
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

- Do existing sewer lines serve the project site? Yes No
- Will a line extension within an existing district be necessary to serve the project? Yes No

 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:

- i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
- ii. Describe types of new point sources. _____
- iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

- If to surface waters, identify receiving water bodies or wetlands: _____
- Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:

- i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) fleet or delivery vehicles
- ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)
- iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:

- i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
- ii. In addition to emissions as calculated in the application, the project will generate:
 - _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 - _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 - _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 - _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 - _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
 - _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):
O&RU grid. _____

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: _____ 8 a.m. - 5 a.m.
- Saturday: _____
- Sunday: _____
- Holidays: _____

ii. During Operations:

- Monday - Friday: _____
- Saturday: _____
- Sunday: _____
- Holidays: _____

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No

If yes:

i. Provide details including sources, time of day and duration:
Heavy equipment during construction 8 a.m. to 5 a.m. Monday thru Friday

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: Existing Vegetation screening will be removed.

n. Will the proposed action have outdoor lighting? Yes No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:
Parking area and driveway lighting on poles > 14' in height. All lighting "Dark Skies rated".

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: Existing vegetation screening will be removed. However, new landscaping is to be proposed to provide a landscaped buffer.

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No

If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No

If Yes:

i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: 50 tons per 1 yr. of construction (unit of time)
- Operation : 19 tons per year (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: Metal, cardboard, glass and plastics are separated and recycled.
- Operation: Metal, cardboard, glass and plastics are separated and recycled and picked up by a recycled waste hauler.

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: After the recycled waste is removed all other debris are brought to a local disposal sorting station.
- Operation: After recycled waste is removed all other waste is picked up by a private waste hauler.

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.10	0.49	+0.39
• Forested	0.10	0.00	-0.10
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0.76	0.47	-0.29
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? > 10' by deep hole test feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site:

<u>Weathersfield gravelly silt loam</u>	<u>100</u> %
_____	_____ %
_____	_____ %

d. What is the average depth to the water table on the project site? Average: > 10' feet

e. Drainage status of project site soils: Well Drained: 100 % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained: _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: 80 % of site
 10-15%: 15 % of site
 15% or greater: 5 % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? *Note: Automatic NYSDEC Mapper response, Yes No
 If Yes to either i or ii, continue. If No, skip to E.2.i. however no visible evidence appears to exist on the site supporting claim.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:

i. Name of aquifer: Sole Source Aquifer Names: Ramapo SSA

m. Identify the predominant wildlife species that occupy or use the project site:	<input type="text" value="Rodents"/>
Deer <input type="text"/>	Birds <input type="text"/>
Raccoons <input type="text"/>	<input type="text"/>
n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes:	
i. Describe the habitat/community (composition, function, and basis for designation): <input type="text"/>	
ii. Source(s) of description or evaluation: <input type="text"/>	
iii. Extent of community/habitat:	
<ul style="list-style-type: none"> • Currently: <input type="text"/> acres • Following completion of project as proposed: <input type="text"/> acres • Gain or loss (indicate + or -): <input type="text"/> acres 	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes:	
i. Species and listing (endangered or threatened): <input type="text"/>	
Timber Rattlesnake	
<hr/>	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes:	
i. Species and listing: <input type="text"/>	
<hr/>	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, give a brief description of how the proposed action may affect that use: <input type="text"/>	
<hr/>	
E.3. Designated Public Resources On or Near Project Site	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, provide county plus district name/number: <input type="text"/>	
b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
i. If Yes: acreage(s) on project site? <input type="text"/>	
ii. Source(s) of soil rating(s): <input type="text"/>	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes:	
i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature	
ii. Provide brief description of landmark, including values behind designation and approximate size/extent: <input type="text"/>	
<hr/>	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes:	
i. CEA name: <input type="text"/>	
ii. Basis for designation: <input type="text"/>	
iii. Designating agency and date: <input type="text"/>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? Yes No

If Yes:

i. Nature of historic/archaeological resource: Archaeological Site Historic Building or District

ii. Name: _____

iii. Brief description of attributes on which listing is based: _____

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? Yes No

g. Have additional archaeological or historic site(s) or resources been identified on the project site? Yes No

If Yes:

i. Describe possible resource(s): _____

ii. Basis for identification: _____

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? Yes No

If Yes:

i. Identify resource: Palisades Interstate Park, and Harriman State Park

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): Interstate and State Parks

iii. Distance between project and resource: _____ 0.66 miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? Yes No

If Yes:

i. Identify the name of the river and its designation: _____

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? Yes No

F. Additional Information

Attach any additional information which may be needed to clarify your project.

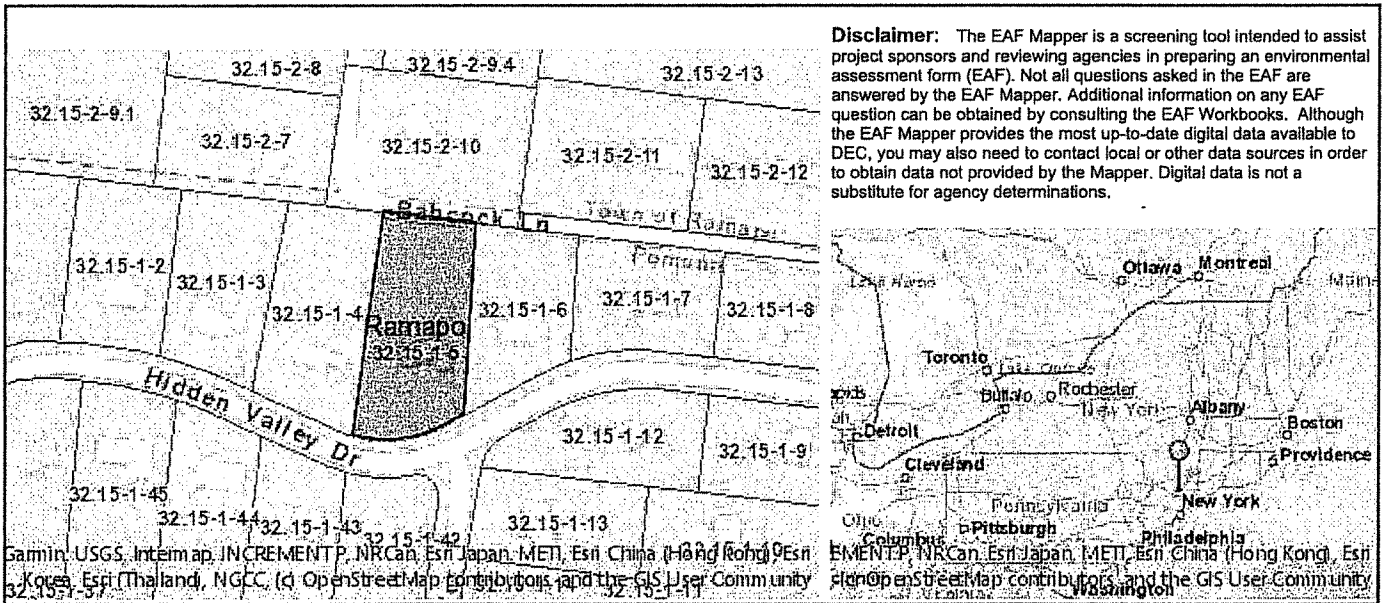
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Yehuda A. Levitan Date 10/13/22

Signature  Title Rabbi, Applicant



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Sole Source Aquifer Names:Ramapo SSA
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes

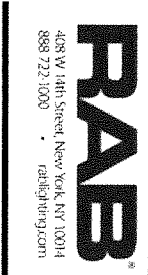
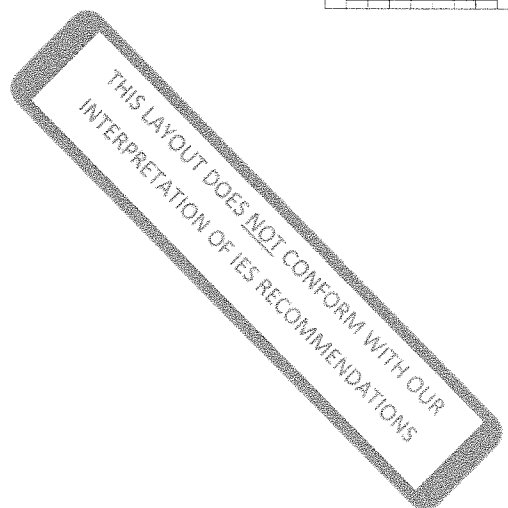
E.2.o. [Endangered or Threatened Species - Name]	Timber Rattlesnake
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
Property Line	Illuminance	Fc	0.00	0.0	0.0	N.A.	N.A.	Readings taken at 00° AFG
Site	Illuminance	Fc	0.36	4.8	0.0	N.A.	N.A.	Readings taken at 00° AFG
Parking and Drive	Illuminance	Fc	0.74	4.5	0.0	N.A.	N.A.	Readings taken at 00° AFG

Symbol	Qty	Tag	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Description
1	A	IVAT2-4SLPA730ZU	SINGLE	SINGLE	4109	4109	1.000	Pole Mounted (Type II 45W 3000K Drilled)
1	B	IVAT1-4SLPA730ZU	SINGLE	SINGLE	4639	4639	1.000	Pole Mounted (Type FT 45W 3000K Drilled)
5	C	ALED10Y	SINGLE	SINGLE	1297	1297	1.000	Pole Mounted (10W 3000K Drilled)
Lum. Watts					37,4638	37,4638		
Arr. Watts					37,9154	37,9154		
Total Watts					75,3792	75,3792		
BUG Rating					B1-U0-G2	B1-U0-G2		

LumNo	Tag	X	Y	MTG HT	Orient	Tilt
1	C	178.662	140.557	10	0	0
2	C	178.662	177.253	10	0	0
3	B	132.478	209.399	15	90	0
4	A	135.459	293.097	15	270	0
5	C	176.378	245.689	15	100	0
6	C	171.5	201.2	15	90	0
7	C	174.662	106.557	10	0	0

Expanded Luminaire Location Summary



Prepared For:
 Damon Sales
 28 Burnswick Avenue
 Edison, NJ 08818-0377
 Tel: 732-985-8866

Job Name:
 7 Hidden Valley Drive
 Ramapo, NJ
 Lighting Layout
 Version A

Scale: as noted
 Date: 10/12/2022
 Filename: 7 Hidden Valley Drive Layout 00954526A.AGI
 Drawn By: Margaret Koemp

PROJECT #: 200157
 CASE #: 00200697

NOTES:
 * The light foot candel (LLF) is a product of many variables. RAB's standard is to use the total LLF in accordance with most municipal lighting ordinance light trespass requirements, unless otherwise noted.
 * Illuminance values shown in this document are the predicted results for poles of calculation either horizontal, vertical or inclined as designated in the calculation summary. Meter orientation is critical to the poles of calculation.
 * The calculated results of this lighting simulation represent an anticipated prediction of system performance. Actual measured results may vary from the anticipated performance and are subject to terrain and method which are beyond the control of RAB Lighting, Inc.
 * Mounting height determination is job site specific. Our lighting simulation assumes a mounting height (inches) point of the luminaire symbol to be taken at the top of the symbol for ceiling mounted luminaires and at the bottom of the symbol for all other luminaire mounting configurations.
 * RAB disclaims all responsibility for the suitability of existing or proposed poles and bases to support proposed fixtures. This is the owner's, installer's and/or end-user's responsibility based on the weight and effective projected area ("PA") of the proposed fixtures and the owner's site and soil condition, wind zone, and many other factors. A professional engineer licensed to practice in the state the site is located should be engaged to assist in this determination.
 * The landscape material shown hereon is conceptual and is not intended to be an accurate representation of any particular plant, shrub, bush, or tree as these materials are living objects and subject to constant change. The conceptual objects shown are for illustrative purposes only. The actual illumination values measured in the field will vary.
 * Photometric model elements such as buildings, room, plants, furnishings or any architectural details which impact the dispersion of light must be provided by the customer/documents for inclusion in the RAB Lighting Design. The owner/contractor/user/end-user must provide accurate, accurate, or outdated information provided by the owner/contractor/user/end-user.
 * RAB Lighting Inc. templates and product designs are protected under U.S. and International Intellectual Property Law. Patents issued or pending may apply. Please see www.rablighting.com.
 * The Lighting Analysis, Energy Analysis and/or Visual Simulation ("Lighting Design") provided by RAB Lighting, Inc. ("RAB") represents an anticipated prediction of system performance based upon an anticipated prediction of lighting system performance based upon design parameters and information supplied by others. The design parameters and RAB recommends that design parameters and other information be field verified to reduce variation.
 * RAB does not warranty, either implied or stated, actual measured light levels or energy consumption levels as compared to those illustrated by the Lighting Design.
 * RAB does not warranty, either implied or stated, nor represents the appropriateness, completeness or suitability of the Lighting Design as compliant with any applicable regulatory code requirements with the exception of those expressly stated on drawings created and submitted by RAB. The Lighting Design is a conceptual design and is not intended to be a final construction document. Any, not intended construction for as a part of a project's construction documentation package and should not be relied upon for any purpose.
 * Immediately prior to any party ordering RAB products used in the Lighting Design, the ordering party must verify that the luminaire output of the fixtures use fixtures that are then ordered prior to an order and such specific details could change the system output of the fixtures. This in turn could impact the predicted lighting performance that differs from the Lighting Design.



Project:

Type:

Prepared By:

Date:

Low profile, low glare. Edge-lit technology unlike any other.

Color: Bronze

Weight: 14.0 lbs

Driver Info

Type	Constant Current
120V	0.33A
208V	0.19A
240V	0.17A
277V	0.14A
Input Watts	37.5W

LED Info

Watts	38W
Color Temp	3000K (Warm)
Color Accuracy	81 CRI
L70 Lifespan	100,000 Hours
Lumens	4,109 lm
Efficacy	109.6 lm/W

Technical Specifications

Compliance

UL Listed:

Suitable for wet locations

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80

Title 24 Compliant:

An IVELOT edge-lit area light can be used with a motion sensor or photocell control option to comply with 2016 Title 24 Part 6 Section 130.2 (a,b,v)

DLC Listed:

This product is on the Design Lights Consortium (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.
DLC Product Code: S-OTY5N4

Electrical

Driver:

Class 2, 50/60Hz, 120-277V, 4kV standard, 10kV optional

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

THD:

8.57% at 120V, 17.36% at 277V

Power Factor:

99% at 120V, 91% at 277V

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations at 25°C

LED Characteristics

LEDs:

Long-life, high-efficacy, surface-mount LEDs

Color Stability:

LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Construction

IP Rating:

Ingress protection rating of IP66 for dust and water

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Technical Specifications (continued)

Construction

Maximum Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Housing:

Precision die-cast aluminum

IES Classification:

The Type II distribution is ideal for wide walkways, on ramps and entrance roadways, bike paths and other long and narrow lighting applications. This type is meant for lighting larger areas and usually is located near the roadside. This type of lighting is commonly found on smaller side streets or jogging paths.

Mounting:

Universal pole adapter

Lens:

Diffused Polymethyl Methacrylate (PMMA)

Effective Projected Area:

EPA = 0.61

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Optical

BUG Rating:

B1 U0 G2

Other

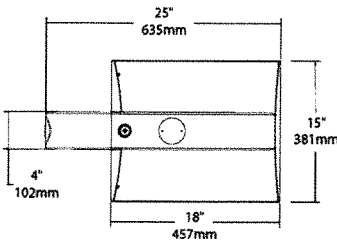
Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

0-10V Dimming, standard

100,000-Hour LED lifespan



Ordering Matrix

Family	Distribution	Lumen Output	Mounting	CRI/Color Temp	Finish	Voltage/Driver	Sensor Options	Lightcloud Option
IVA	T2	45L	PA	730	Z	U		
	T2 = Type II T3 = Type III T4 = Type IV T5S = Type V Square FT = Forward Throw	45L = 4,500 lumens (38W) 75L = 7,500 lumens (67W) 100L = 10,000 lumens (94W) 130L = 13,000 lumens (117W)	PA = Universal Pole Mount WM = Wall mount SF = Slipfitter	750 = 70CRI 5000K 740 = 70CRI 4000K 730 = 70CRI 3000K	Z = Bronze W = White G = Roadway Gray K = Black	U = 120-277V 0-10V Dimming H = 347-480V, 0-10V Dimming	Blank = No Options /WS = 8ft lens Wattstopper /WS2 = 20ft lens Wattstopper /WS4 = 40ft lens Wattstopper /7PR = 7-Pin receptacle	Blank = No Lightcloud® /LC = Lightcloud® Controller ²

¹ Applies to Type IV, V Square

² Applies 120-277V

* All values are nominal with +/- 10% tolerance. See spec sheet for more details.



Project:

Type:

Prepared By:

Date:

Low profile, low glare. Edge-lit technology unlike any other.

Color: Bronze

Weight: 14.0 lbs

Driver Info

Type	Constant Current
120V	0.33A
208V	0.19A
240V	0.17A
277V	0.14A
Input Watts	37.9W

LED Info

Watts	38W
Color Temp	3000K (Warm)
Color Accuracy	80 CRI
L70 Lifespan	100,000 Hours
Lumens	4,638 lm
Efficacy	122.4 lm/W

Technical Specifications

Compliance

UL Listed:

Suitable for wet locations

IESNA LM-79 & LM-80 Testing:

RAB LED luminaires have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80

Title 24 Compliant:

An IVELOT edge-lit area light can be used with a motion sensor or photocell control option to comply with 2016 Title 24 Part 6 Section 130.2 (a,b,v)

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC 5.1 requirements.

DLC Product Code: S-WXJ342

Electrical

Driver:

Class 2, 50/60Hz, 120-277V, 4kV standard, 10kV optional

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims down to 10%.

THD:

8.58% at 120V, 17.28% at 277V

Power Factor:

98.9% at 120V, 91.3% at 277V

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations at 25°C

LED Characteristics

LEDs:

Long-life, high-efficacy, surface-mount LEDs

Color Stability:

LED color temperature is warrantied to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Construction

IP Rating:

Ingress protection rating of IP66 for dust and water

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)



Technical Specifications (continued)

Construction

Maximum Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Housing:

Precision die-cast aluminum

IES Classification:

The Forward Throw distribution is especially suited for mounting on the sides of buildings and walls, and for illuminating the perimeter of parking areas. It produces a semicircular distribution with essentially the same candlepower at lateral angles from 90° to 270°.

Mounting:

Universal pole adapter

Lens:

Diffused Polymethyl Methacrylate (PMMA)

Effective Projected Area:

EPA = 0.61

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Optical

BUG Rating:

B1 U0 G2

Other

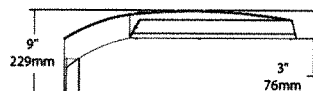
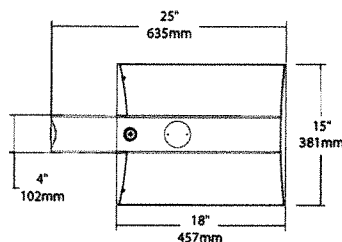
Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

0-10V Dimming, standard

100,000-Hour LED lifespan



Ordering Matrix

Family	Distribution	-	Lumen Output	Mounting	CRI/Color Temp	Finish	Voltage/Driver	Sensor Options	Lightcloud Option
IVA	FT	-	45L	PA	730	Z	U		
	T2 = Type II T3 = Type III T4 = Type IV T5S = Type V Square FT = Forward Throw		45L = 4,500 lumens (38W) 75L = 7,500 lumens (67W) 100L = 10,000 lumens (94W) 130L = 13,000 lumens (117W)	PA = Universal Pole Mount WM = Wall mount SF = Slipfitter	750 = 70CRI 5000K 740 = 70CRI 4000K 730 = 70CRI 3000K	Z = Bronze W = White G = Roadway Gray K = Black	U = 120-277V 0-10V Dimming H = 347-480V, 0-10V Dimming	Blank = No Options AWS = 8ft lens Wattstopper AWS2 = 20ft lens Wattstopper AWS4 = 40ft lens Wattstopper 7PR = 7-Pin receptacle	Blank = No Lightcloud® LC = Lightcloud® Controller ²

¹ Applies to Type IV, V Square

² Applies 120-277V

* All values are nominal with +/- 10% tolerance. See spec sheet for more details.



Project:

Type:

Prepared By:

Date:

Square steel poles drilled for 2 Area Lights at 180°. Designed for ground mounting. Poles are stocked nationwide for quick shipment. Protective packaging ensures poles arrive at the job site good as new.

Color: Bronze

Weight: 105.8 lbs

Technical Specifications

Listings

CSA Listed:

Suitable for wet locations

Construction

Shaft:

46,000 p.s.i. minimum yield.

Hand Holes:

Reinforced with grounding lug and removable cover

Base Plates:

Slotted base plates 36,000 p.s.i.

Shipping Protection:

All poles are shipped in individual corrugated cartons to prevent finish damage

Color:

Bronze powder coating

Height:

15 FT

Weight:

106 lbs

Gauge:

11

Wall Thickness:

1/8"

Shaft Size:

4"

Hand Hole Dimensions:

3" x 5"

Bolt Circle:

8 1/2"

Base Dimension:

8"

Anchor Bolt:

Galvanized anchor bolts and galvanized hardware and anchor bolt template. All bolts have a 3" hook.

Anchor Bolt Templates:

WARNING Template must be printed on 11" x 17" sheet for actual size. CHECK SCALE BEFORE USING. Templates shipped with anchor bolts and available [online](#).

Pre-Shipped Anchor Bolts:

Bolts can be pre-shipped upon request for additional freight charge

Max EPA's/Max Weights:

- 70MPH 14.0 ft./400 lb.
- 80MPH 10.2 ft./295 lb.
- 90MPH 7.6 ft./220 lb.
- 100MPH 5.6 ft./165 lb.
- 110MPH 4.2 ft./125 lb.
- 120MPH 3.0 ft./95 lb.
- 130MPH 2.1 ft./70 lb.
- 140MPH 1.4 ft./50 lb.
- 150MPH 0.8 ft./35 lb..

Other

Terms of Sale:

Pole Terms of Sale is available [online](#).

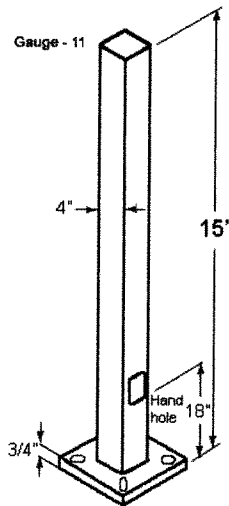
Technical Specifications (continued)

Other

Buy American Act Compliance:

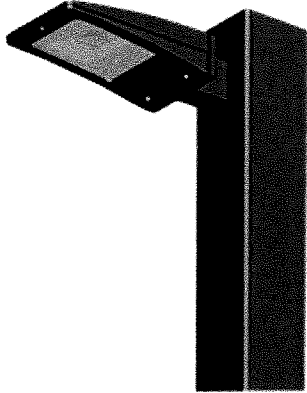
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

- Designed for ground mounting
- Heavy duty TGIC polyester coating
- Reinforced hand holes with grounding lug and removable cover for easy wiring access
- Anchor Bolt Kit includes pole cap and base cover (sold separately)
- Custom manufactured for each application



Color: Bronze

Weight: 34.3 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant Current
120V	0.1A
208V	0.07A
240V	0.06A
277V	0.05A
Input Watts	12.4W

LED Info

Watts	10W
Color Temp	3000K (Warm)
Color Accuracy	74 CRI
L70 Lifespan	100,000 Hours
Lumens	1,198
Efficacy	96.6 lm/W

Technical Specifications

Compliance

UL Listed:

Suitable for wet locations

IESNA LM-79 & IESNA LM-80 Testing:

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

Dark Sky Conformance:

Conforms to (allows for conformance to) the requirements for the IDA's "Fixture Seal of Approval" as of March 1, 2016.

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Construction

IES Classification:

The Type III distribution is ideal for roadway, general parking, and other area lighting applications where a larger pool of lighting is required. It is intended to be located near the side of the area, allowing the light to project outward and fill the area.

Housing:

Integral-cast aluminum mounting pad and external fins for optimum heat sinking to ensure cool operation with maximum LED life and light output

Gaskets:

High-temperature silicone

Finish:

Formulated for high durability and long-lasting color

Green Technology:

Mercury and UV free. RoHS-compliant components.

Effective Projected Area:

EPA = 0.2

Cold Weather Starting:

Minimum starting temperature is -40°C (-40°F)

Maximum Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Maximum EPA:

Fixed Arm = 0.10.

LED Characteristics

Lumen Maintenance:

The LED will deliver 70% of its initial lumens at 100,000 hours of operation

Technical Specifications (continued)

LED Characteristics

Color Consistency:

3-step MacAdam Ellipse binning to achieve consistent fixture-to-fixture color

Color Stability:

LED color temperature is warranted to shift no more than 200K in color temperature over a 5-year period

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Other

Patents:

The design of the ALED is protected by patents pending in Canada, U.S., China and Taiwan.

HID Replacement Range:

Replaces 35 - 50W Metal Halide

Equivalency:

Equivalent to 70W Pulse Start Metal Halide

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Buy American Act Compliance:

RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Optical

BUG Rating:

B1 U0 G0

Electrical

Driver:

Multi-chip 10W high output long life LED Driver Constant Current, Class II, 120V-240V, 50/60/Hz, 350mA

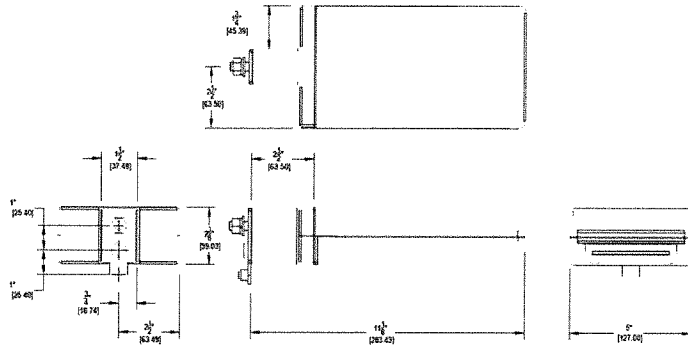
THD:

10.8% at 120V, 13.8% at 277V

Power Factor:

98.5% at 120V, 92.1% at 277V

Dimensions



Features

- High output LED light engine
- Maintains 70% of initial lumens at 100,000-hours
- Weatherproof high temperature silicone gaskets
- Superior heat sinking with die cast aluminum housing and external fins



Project:

Type:

Prepared By:

Date:

Square steel poles drilled for 2 Area Lights at 180°. Designed for ground mounting. Poles are stocked nationwide for quick shipment. Protective packaging ensures poles arrive at the job site good as new.

Color: Bronze

Weight: 72.8 lbs

Technical Specifications

Listings

CSA Listed:

Suitable for wet locations

Construction

Shaft:

46,000 p.s.i. minimum yield.

Hand Holes:

Reinforced with grounding lug and removable cover

Base Plates:

Slotted base plates 36,000 p.s.i.

Shipping Protection:

All poles are shipped in individual corrugated cartons to prevent finish damage

Color:

Bronze powder coating

Height:

10 FT

Weight:

73 lbs

Gauge:

11

Wall Thickness:

1/8"

Shaft Size:

4"

Hand Hole Dimensions:

3" x 5"

Bolt Circle:

8 1/2"

Base Dimension:

8"

Anchor Bolt:

Galvanized anchor bolts and galvanized hardware and anchor bolt template. All bolts have a 3" hook.

Anchor Bolt Templates:

WARNING Template must be printed on 11" x 17" sheet for actual size. CHECK SCALE BEFORE USING. Templates shipped with anchor bolts and available [online](#).

Pre-Shipped Anchor Bolts:

Bolts can be pre-shipped upon request for additional freight charge

Max EPA's/Max Weights:

- 70MPH 28.8 ft./800 lb.
- 80MPH 21.6 ft./510lb.
- 90MPH 16.5 ft./510 lb.
- 100MPH 12.9 ft./510 lb.
- 110MPH 10.3 ft./500 lb.
- 120MPH 8.3 ft./495lb.
- 130MPH 6.7 ft./495 lb.
- 140MPH 5.5 ft./485 lb.
- 150MPH 4.5 ft./480 lb

Other

Terms of Sale:

Pole Terms of Sale is available [online](#).

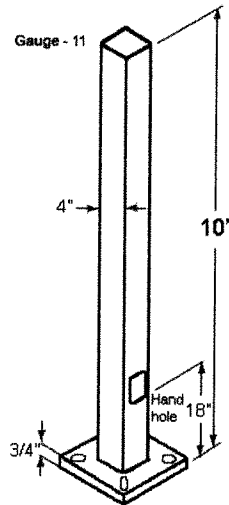
Technical Specifications (continued)

Other

Buy American Act Compliance:

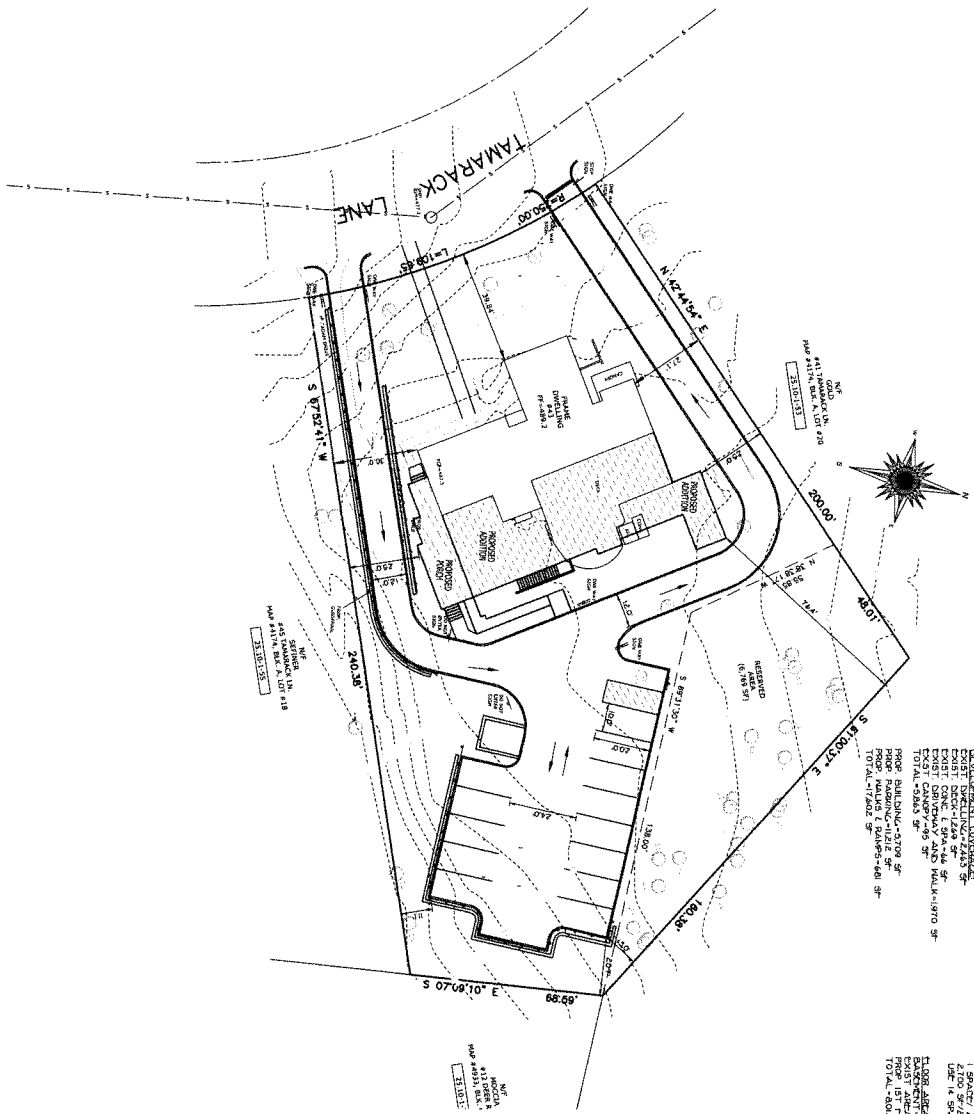
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant.

Dimensions



Features

- Designed for ground mounting
- Heavy duty TGIC polyester coating
- Reinforced hand holes with grounding lug and removable cover for easy wiring access
- Anchor Bolt Kit includes pole cap and base cover (sold separately)
- Custom manufactured for each application



BULK TABLE - NET-GARAGEHOUSE HOUSE-OR-WORSHIP

ZONE	MINIMUM LOT AREA	MINIMUM FRONT YARD	MINIMUM SIDE YARD	MINIMUM REAR YARD	TOTAL SIDE REAR YARD	MINIMUM BUFFER ZONE	MAXIMUM PERCENTAGE OF LOT COVERED BY BUILDING	MINIMUM SETBACK
R-40	32,870	150	100	140	23	50.0'	25.0'	14.0'
PROVIDED	37,591	197*	109.7	200.0	39.8	50.0'	25.0'	14.9'

*** PRE-EXISTING**

NET LOT AREA CALCULATION:
 GROSS LOT AREA: 37,591 SF
 EXISTING BUILDING: 1,200 SF
 EXISTING DRIVEWAY AND WALKWAY: 1,100 SF
 TOTAL: 35,291 SF

PERMITS CALCULATION:
 1.5% OF GROSS LOT AREA: 563.865 SF
 EXISTING DRIVEWAY AND WALKWAY: 1,100 SF
 TOTAL: 1,663.865 SF

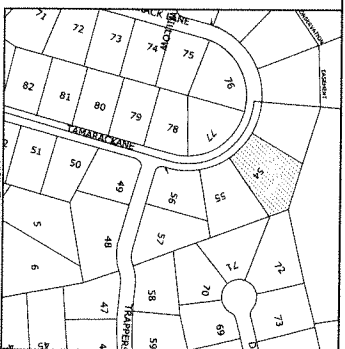
PERMITS CALCULATION:
 1.5% OF GROSS LOT AREA: 563.865 SF
 EXISTING DRIVEWAY AND WALKWAY: 1,100 SF
 TOTAL: 1,663.865 SF

NET LOT AREA CALCULATION:
 251,200 SF - 1,200 SF - 1,100 SF = 248,900 SF

BUILDING COVERAGES:
 40,250 SF - 1,200 SF - 1,100 SF = 37,950 SF

EXISTING DRIVEWAY AND WALKWAY:
 1,100 SF

TOTAL: 37,591 SF



REVISIONS

1. INITIAL REVIEW FOR COMMENTS

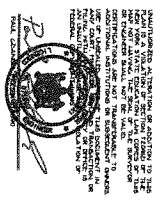
PLANNING PLAN
 OUR YAAKOV SLEDMO
 2510-1-54
 VILLAGE OF FARMENA
 ROCKLAND COUNTY, NEW YORK

DATE SCALE: 1" = 20'

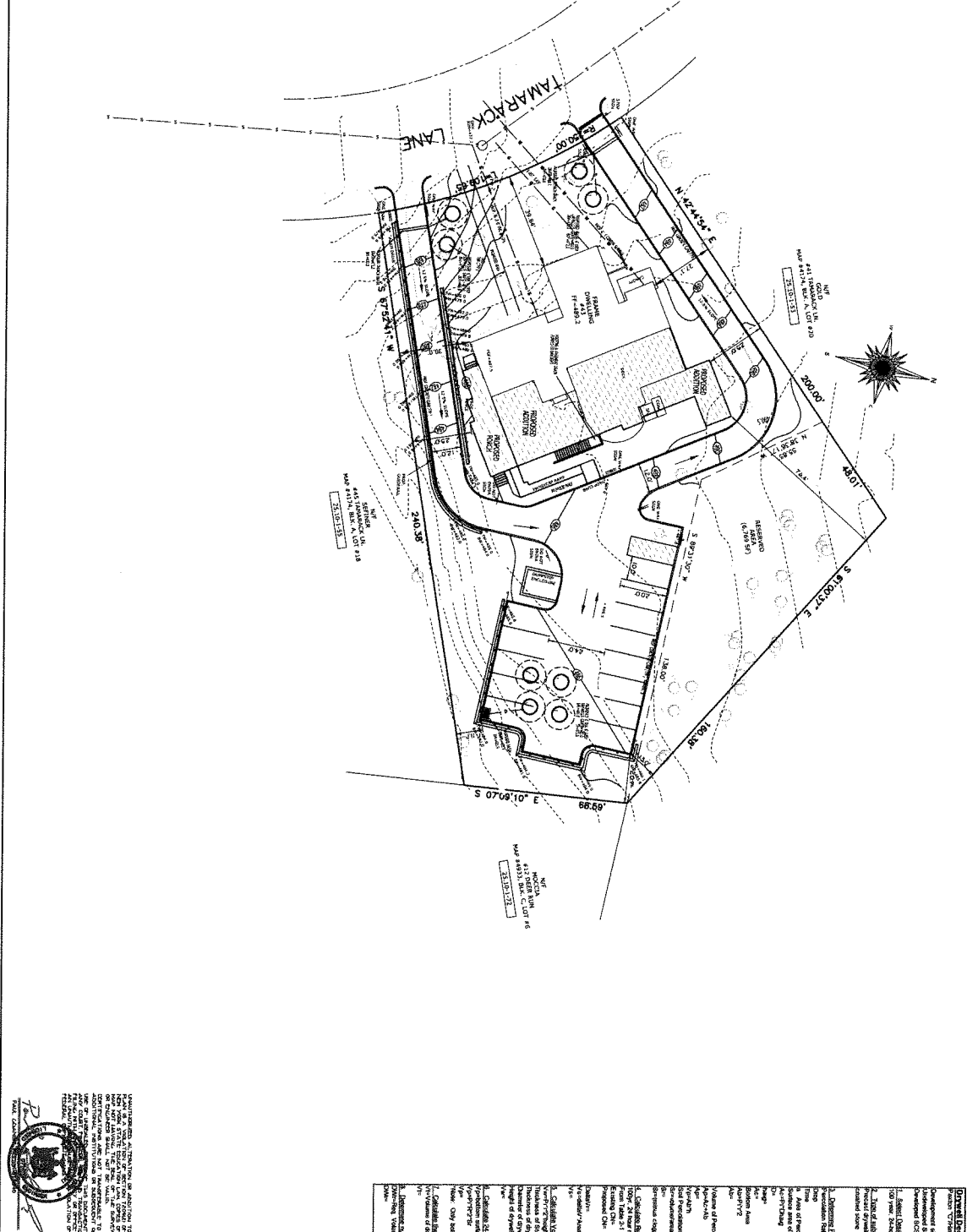
457 DAY
 8 NOV. 8, 2022

PAUL GOODMAN, PE, PLLC
 635 WOODMONT LANE
 SLOANVILLE, NY 10974
 TEL: 914/416-0899

1 OF 7



PAUL GOODMAN, PE, PLLC
 635 WOODMONT LANE
 SLOANVILLE, NY 10974
 TEL: 914/416-0899



NOTICE: TO ANY PARTICIPANT: THESE PLANS AND CONSTRUCTION TRACES MUST BE NOTICED AT THE CORNER LINE OF ALL TREES TO REMAIN ON THE PROPERTY. THE PROPERTY LINE OWNERSHIP IS SAID TO BE THE PROPERTY LINE OWNERSHIP. ALL CONSTRUCTION WORK MUST BE NOTICED PRIOR TO START OF CONSTRUCTION.

General Details:

1. General Notes: See C-1 to C-10 in the specification.

2. Development: See C-1 to C-10 in the specification.

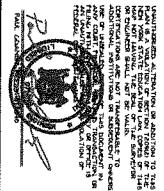
3. Materials: See C-1 to C-10 in the specification.

4. Construction: See C-1 to C-10 in the specification.

5. Utilities: See C-1 to C-10 in the specification.

6. Landscaping: See C-1 to C-10 in the specification.

7. Other: See C-1 to C-10 in the specification.



REVISIONS

DATE: 2010-11-04

BY: [Signature]

DESCRIPTION: [Blank]

PAUL ZADANSKI, PE, P.L.C.

443 HENRIETTA AVENUE
 SUITE 100
 WEST CANTON, NY 10984
 TEL: 917-418-0999

CHARING AND UTILITY PLAN

OUR YAAKOV SLOMO

2310-1-54

LOCATED IN THE
 TOWN OF
 ROCKLAND COUNTY, NEW YORK

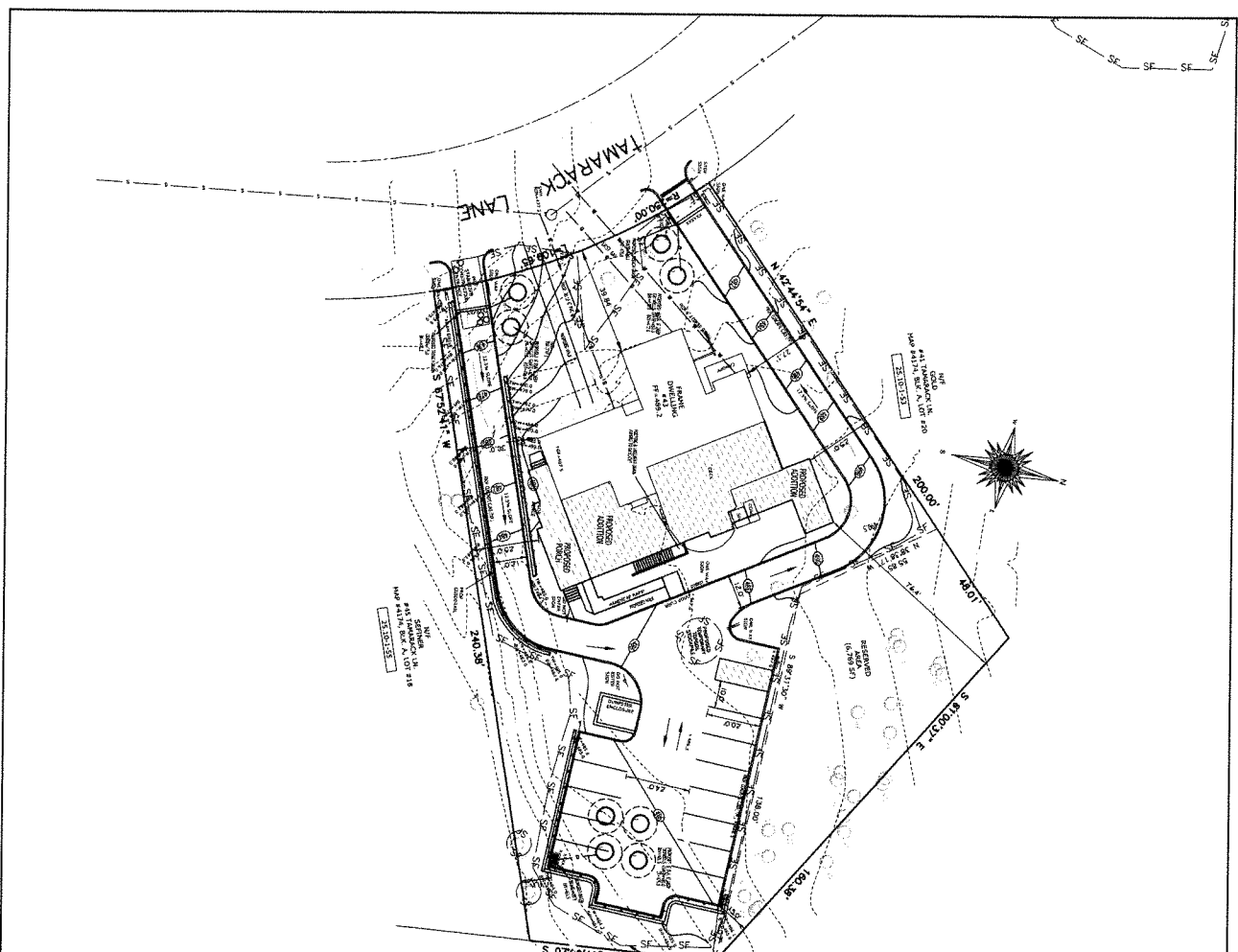
SCALE: 1" = 20'

DATE: 11-04-10

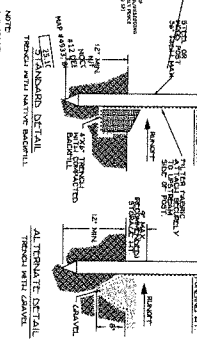
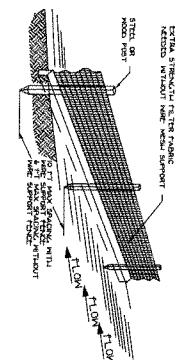
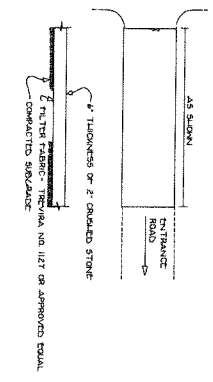
BY: ZAVL & COZZI

PROJECT: 10-09-10

DATE: 11-04-10



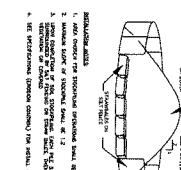
STABILIZED CONSTRUCTION ENTRANCE
N.T.S.



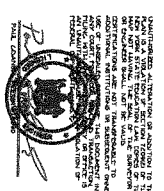
SILT FENCE
N.T.S.



NOTE: 1. FABRIC SHALL BE PLACED ON A SURFACE OF 2.0% SLOPE TO MAINTAIN POSITIVE EFFICIENCY. 2. FABRIC SHALL BE PLACED ON A SURFACE OF 2.0% SLOPE TO MAINTAIN POSITIVE EFFICIENCY.



1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
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6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
7. THIS PLAN IS TO BE USED FOR THE CONSTRUCTION OF THE STABILIZED CONSTRUCTION ENTRANCE AND SILT FENCE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACCURACY OF THE DIMENSIONS AND TO MAKE ANY NECESSARY ADJUSTMENTS TO THE PLAN.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE STABILIZED CONSTRUCTION ENTRANCE AND SILT FENCE IN GOOD WORKING ORDER AT ALL TIMES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING THE STABILIZED CONSTRUCTION ENTRANCE AND SILT FENCE AT THE END OF THE PROJECT.



REVISIONS	
1	ISSUED FOR PERMITS

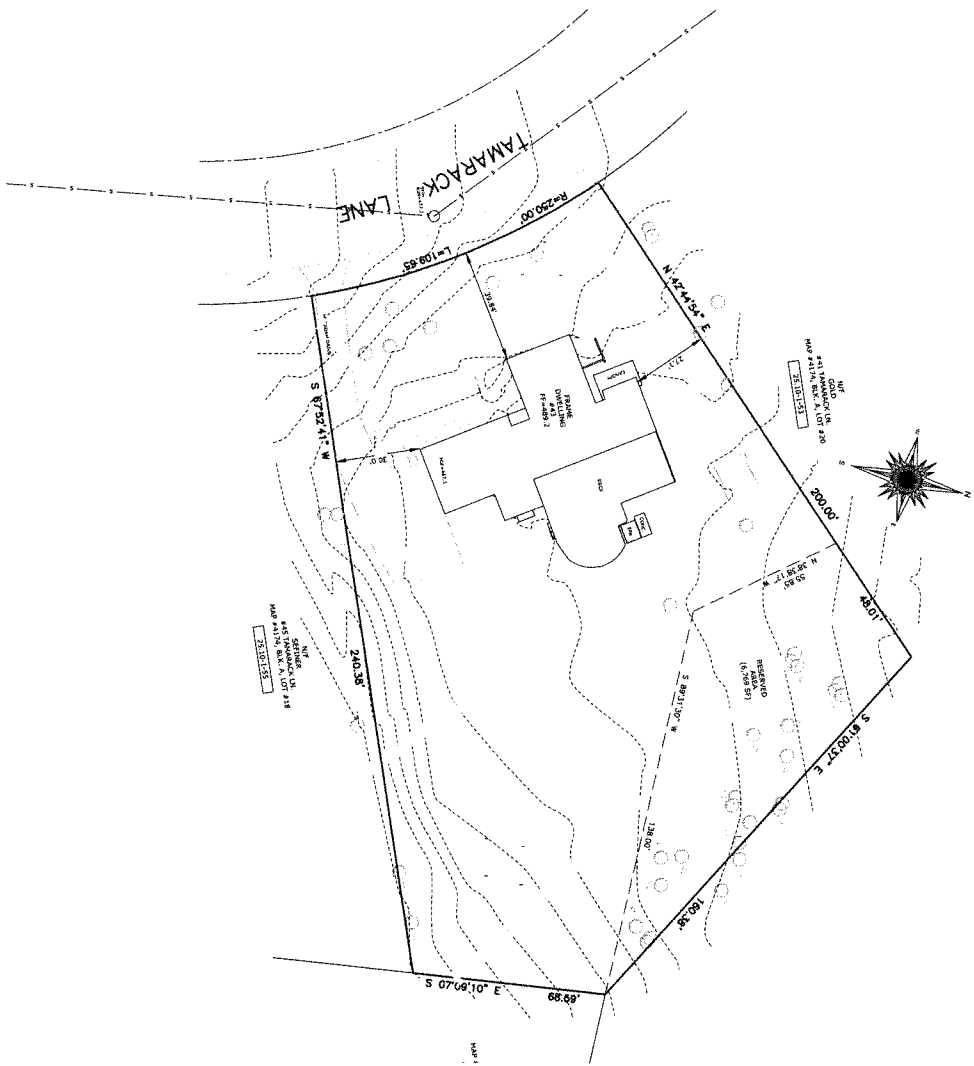
1. ISSUED FOR PERMITS

SILT EROSION & SEDIMENT CONTROL PLAN
FOR
OHAR YAAKOV SHILOMO
2510-1-54
LOCATED IN THE
VILLAGE OF
HONOLAND COUNTY, NEW YORK

JANICE SCALE: 1" = 40'

PAUL ADAMSON, P.E., PLLC
433 PROSPECT LANE
SUITE 200
TEL: (917) 418-0989

DATE	NO.	BY	APP.
01/14/24	1	PAUL ADAMSON	PAUL ADAMSON



PAUL CDANSKI, PE, PLLC
 453 TOWNHUNT LANE
 SUITE 100
 MOHAWK COUNTY, NEW YORK
 TEL: 518-537-1111
 FAX: 518-537-1112

REVISIONS	
1	ISSUED FROM THE COMMENTS

EXISTING CONDITIONS PLAN
 FOR
 OLIV YAKOVY - SULLOMO
 2510-1-54
 LOCATED IN THE
 TOWN OF MOHAWK
 MOHAWK COUNTY, NEW YORK

DATE: 08/11/2022

DESIGNED BY	PAUL CDANSKI
CHECKED BY	PAUL CDANSKI
DATE	8/11/2022
SCALE	1" = 20'
DATE	8/11/2022



TO: Village of Pomona, Planning Board (TAC)

FROM: Martin K. Spence, PE Village Engineer

DATE: October 17, 2022

RE: 60 Halley Drive
Tax Map Reference 25.09-1-33
Site Plan Application Neighborhood House of Worship

We have received the following regarding the subject application:

- Application Review Form
- Narrative Summary Congregation Pomona Heights (no date)
- Grading, Utility and Soil Erosion Plan, Site Plan, Dwg 1 of 5 as prepared by Paul Gdanski, PE last revised 10/4/22
- Lighting Plan, Dwg 2 of 5 as prepared by Paul Gdanski, PE last revised 10/4/22
- Soil Erosion Plan Dwg 3 of 5 as prepared by Paul Gdanski, PE last revised 10/4/22
- Slope Analysis Plan Dwg 4 of 5 as prepared by Paul Gdanski, PE last revised 10/4/22
- Detail Sheet Dwg 5 of 5 as prepared by Paul Gdanski, PE last revised 10/4/22
- Conceptual Plan, (Landscape) as prepared by Yost Design, dated July 21, 2022
- Set of Architectural Plans, 10 sheets as prepared by William Bateman Architect dated 8/17/2022

It is noted that the landscape plan has not been revised with the more recent engineering revisions.

The application consists of submitting a Site Plan for the development of a Neighborhood House of Worship. These plans have been revised since the TAC meeting on September 22, 2022.

We offer the following:

The owner/applicant in this matter is:

Cong Pomona Heights/Shimon Galandauer
60 Halley Drive
Pomona, NY 10970

The project consists of the development of the property including an addition to the existing dwelling and parking areas at the rear yard with an one way ingress at the west and one way egress at the east. A series of retaining walls are being constructed along the rear and side lot lines including tiered walls with maximum wall heights of 15' (which require a waiver from the Planning Board for walls in excess of 10'). The rear yard will be filled upto heights of twenty-five (25') to provide grading for the driveway and parking. Generally, the entire lot 40,250 SF (0.92) acres will be disturbed, however not require a SWPPP due to less than 1.0 acre of disturbance. However, robust soil erosion measures shall be required due to the extent of soil movements and slope of the lot.

At the TAC meeting it was discussed with this applicant as well as other House of Worship applications to develop standards for development as an attempt to maintain the residential character of the areas. These standards or details including using Belgian block curbing, providing walkways/paths from the street front to the front of the structure with low bollard lighting and a front hardscape drop off / pick up areas, as well as landscaping. Applicants generally accepted the recommendations.

**Engineering Comments:
Grading, Utility & Soil Erosion Plan, Site Plan**

- S-1. Extend walkway in a NE direction to provide a drop off / pick up area along the frontage.
- S-2. Label and show walkway as 5' width.
- S-3. Label Belgian block curbing on plan.
- S-4. Provide willingness to serve (change of use) from water company and permits from sewer authority.
- S-5. Drainage calculations provided do not account for the land use change where trees are being removed and lawn areas are shown. Provide soil percolation rates as part of drywell design in fill areas.
- S-6. Drywells within traffic areas or excessive fill areas shall be traffic rated, review and revise note accordingly. Review spacing out drywells.
- S-7. Provide retaining wall elevations, sections and details, including width between tiers. Fencing at top of walls shall be provided where in close proximity to usage areas.
- S-8. Provide Planning Board wall material specifications (type of wall, color). The wall will be visible from the sides and the rear. Lower rear wall is constructed along the easement with minimal area to provide new screening.
- S-9. Retaining wall detail (max wall height 8') is not consistent with maximum height of walls shown on plan (15'). Review and revise accordingly. These are major retaining walls and any application for building permits will require a structural engineering design of the wall systems including tiered and surcharges.
- S-10. Outside agency and utilities reviews shall be responded to including any increase in existing pipe size.
- S-11. Label proposed contours (with elevations) for clarity.

Lighting Plan

- S-12. Show light pole base detail.
- S-13. Provide unit "K" on Note 1.
- S-14. Show bollards along walkway to frontage to provide minimal safety lighting.

Landscaping Plan

- S-15. Provide landscaping to screen hot box from street. Access shall be from driveway or rear yard side.
- S-16. Existing trees shown to be removed may be impacted by wall / site construction. Add notes regarding replacement trees as well as supplemental landscaping may be requested to meet the spirit of the approvals.
- S-17. Review if deciduous trees can be planted on the site, within parking islands and along the drive aisle.
- S-18. Landscaping is shown within the 10' wide drainage easement along the rear property line at the bottom of wall. See prior note about wall exposure. Trees may not be permissible within easement. At the TAC meeting there was discussion of ivy or vine type planting.

Detail Sheet

- S-19. Chain link fence detail shall provide note of dark hued vinyl coating for all components, fabric and posts/rails.

END OF REPORT



TO: Village of Pomona, Planning Board (TAC)

FROM: Martin K. Spence, PE Village Engineer

DATE: October 21, 2022

Martin K. Spence

RE: 31 High Mountain Road
 Steep Slope Site Plan Submittal
 Tax Map Reference 25.06-1-10

We have received the following regarding the subject application:

- Application Form
- Building Permit Plan, Dwg 1 of 2 as prepared by Civil Tec last revised October 7, 2022
- Details, Dwg 2 of 2 as prepared by Civil Tec last revised October 7, 2022
- Set of Architectural Plans, as prepared by BILD Architecture dated 1/17/2022
- Tree Location Plan, (T-100) as prepared by Yost Design, dated May 23, 2022
- Conceptual Plan, (CP-101) as prepared by Yost Design, last revised October 4, 2022
- Lighting Plan, sheet 1 of 1, as prepared by Cyclone Lighting, dated October 6, 2022

The application consists of constructing a dwelling and site improvements including pool and site work. The application is submitted for Site Plan Approval due to disturbance of steep slopes under Chapter 119.

We offer the following:

The owner in this matter is:

Ahron Halpern
 28 High Mountain Road
 Pomona, NY 10970

The applicant/agent for the owner in this matter is:
 Shimon Galandauer

Engineering Comments:

- S-1. Clarify if there are existing utility connections behind the curb line from the previous dwelling.
- S-2. Provide detail drainage design supported by test pits for soil characteristics and presence of rock.
- S-3. Design should include any sub-drainage areas such as driveway connected to a single drywell.
- S-3. Provide notes all roof drains shall be connected to the subsurface drainage system and roof drain piping shall be minimum SDR 35 pipe material.
- S-4. Show steep slope plan showing locations of slope categories to show disturbances and support slope analysis calculations.
- S-5. Provide retaining wall elevations, sections, materials and details, including width between tiers. Walls directly along the property line may offer challenges on constructability as a result of footing locations and excavations. Provide general details where final details and calculations will be required as part of any building permit submittal.
- S-6. Show light pole proposed at the driveway near the ROW.
- S-7. Provide a detail of the light pole, including the height.

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SESC Plan:

S-8. Show area (SF and acres) of total disturbance.

Landscaping Plans:

S-9. Show complete outline of building and site improvements/grading and show trees to be removed with "X". This can be part of the engineering set or landscape plan set. Tree Location Plan shows outline of house only, provide walls and hardscape locations. Trees shown to remain at the NW corner are subject to an 8' grade change and wall construction. This tree loss should be implemented into the tree removals and proposed landscaping plans.

S-10. Further develop landscape plan schedules and notes. New trees along the frontage should be consistent with the subdivision requirements (size and species).

Lighting Plan

S-11. It is noted that the proposed light location provides 1.2 foot-candles beyond the property line, to approximately 0.1 foot-candles toward the centerline of High Mountain Road.

END OF REPORT



TO: Village of Pomona, Planning Board

FROM: Martin K. Spence, PE Village Engineer

DATE: October 26, 2022 *Martin K. Spence*

RE: 43 Tamarack Lane
Tax Map Reference 25.10-1-54
Site Plan Application Neighborhood House of Worship

We have received the following regarding the subject application:

- Application Review Form
- Special Permit Application
- Narrative Summary Pomona Heights (no date)
- Set of Engineering Plans (7 sheets) as prepared by Paul Gdanski, PE, last revised 10/06/2022
- Set of Architectural Plans, prepared by DrawRite

The application consists of submitting a Site Plan for the development of a Neighborhood House of Worship.

We offer the following:

The owner/applicant in this matter is:
Ohr Yaakov Shlomo/Shneur Levettov
43 Tamarack Lane
Pomona, NY 10970

The project consists of the development of the property including an addition to the existing dwelling and parking areas at the rear yard with one way ingress and one way egress.

Engineering Comments:

- S-1. Identify steep slope areas on the plan. Show sewer easement.
- S-2. Planning Board shall review type of curbing, onsite (concrete versus Belgian block detailing). Full drop curbs along the street shall be shown along the ingress/egress to separate road pavement and driveway. Curbing from the property shall meet the back of the street curb.
- S-3. Provide width and material of sidewalk on the plan.
- S-4. Provide slope of sidewalk.
- S-5. Drainage calculations shall be supported by soil log/testing. Show subdrainage areas as part of calculations. Provide flow and grate capacity of each trench drains and catch basin. Provide pipe flow rates and capacity.
- S-6. Show spot elevations at building corners.
- S-7. Show swale into open grates of seepage pits along the frontage.
- S-8. Clarify which seepages in the parking area will have open grates.
- S-9. Emergency services shall review access and site maneuverability, show templates for any trucks entering site.
- S-10. Show existing utilities in the street.
- S-11. Review if a stabilized construction entrance will be required at the exit.
- S-12. Some details are light / shaded lines and difficult to review.

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- S-13. Show depth and size of dumpster enclosure footings.
- S-14. Provide structural calculations for all retaining walls 4'-0 and greater at time of building permits. Provide note on the plan.
- S-15. Wood guide rail posts shall be set in concrete.
- S-16. Outside agency reviews including emergency services and any need to access parking areas and drive areas. Respond to any inquiries regarding vehicle access.
- S-17. Provide willingness to serve (change of use) from water company and permits from sewer authority.

Lighting Plan

- S-18. Show light pole detail including full height with base. Is total mounting height including the base 15'?
- S-19. Locations and schedule not fully clear on locations and differences of lights proposed.
- S-20. Provide footcandle readings. Lighting shall not exceed 0.1 footcandles at the property line.
- S-21. Show light pole base locations.

Landscaping Plan

- S-22. Review tree location at dumpster location.
- S-23. Plant schedule partially cut off.
- S-24. Shows trees to be removed.
- S-25. Show seepage pits as per Grading and Utility Plan.
- S-26. Label lawn areas.
- S-27. Review preparation of plans and if a Landscape Architect is required as per 119-5(B)(2)(i).

END OF REPORT



TO: Village of Pomona, Planning Board

FROM: Martin K. Spence, PE Village Engineer

DATE: October 26, 2022

RE: High Mountain Road
Tax Map Reference 25.02-2-33 and 25-1-23
Lot Consolidation and Steep Slope Site Plan Submittal

We have received the following regarding the subject application:

- Engineering Set of Plans, 8 sheets, as prepared by Langan Engineering, last revised 10/07/2022
- Set of Architectural Plans, 5 sheets as prepared by William Bateman Architect, last revised 10/03/2022
- Tree Location Plan, (T-100) as prepared by Yost Design, last revised September 19, 2022
- Materials Plan, (L-104) as prepared by Yost Design, dated March 25, 2022
- Lighting Plan, (L-601) as prepared by Yost Design, dated March 25, 2022
- Planting Plan, (L-701) as prepared by Yost Design, last revised September 19, 2022

It is noted that this office did not receive the SWPPP that was referenced in the Langan Cover letter. We will provide general comments at this time and will review when received.

The application consists of consolidating two lots and site improvements for a single family dwelling as well as pool and site work. The application is submitted due to disturbance of steep slopes Chapter 119.

We offer the following:

The applicant/agent for the owner in this matter is:
Shimon Galandauer

Engineering Comments:

- S-1. A subdivision plat is required.
- S-2. Provide standard notes including reference surveys and past subdivisions, utilities serving the property, etc.
- S-3. A covered breezeway is shown on the architectural plans between the residence and the pool house, this should be shown on the site plans as well.
- S-4. Our review shows that the slope is about 14%, where maximum permissible is 12.5%, applicant may ask for a waiver from the Planning Board, Zoning (130-21).
- S-5. Drainage report shall be supported by soil test logs including any presence of rock and limiting zones.
- S-6. Provide maintenance notes for the Cultec systems.
- S-7. SWPPP will be under review as part of the Planning Board process.
- S-8. Provide trench drain detail.
- S-9. Provide retaining wall elevations, sections and details, including width between tiers. Provide structural calculations for retaining wall 4'-0" and higher at time of building permit application. Provide note on plan.

Lighting Plan:

S-10. Review the locations of the 2 pier lights at the driveway entrance. Provide footcandles of these lights.

END OF REPORT

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