

ERIC KNUTE OSBORN - ARCHITECT

58 BARNES ROAD
WASHINGTONVILLE, NEW YORK 10992
845-629-7474

OVER 47 YEARS EXPERIENCE

EMAIL EKOSBORNARCHITECT@GMAIL.COM

**NARRATIVE
92 HALLEY DRIVE
19.17-1-36
POMONA, NEW YORK**

Nov. 1, 2023

Village of Pomona, New York
Planning & Zoning Board (s) & Building Department Review

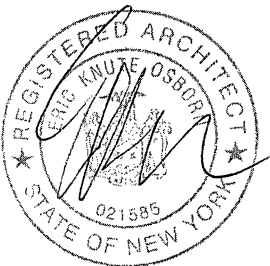
We designed this two-story contemporary colonial plan to work best with the grading for this lot. This dwelling is wood frame construction on a poured concrete basement-foundation. The garage is in the basement. I performed average grading calculations and I claim the basement level is more than 50% under the finished grade. Therefore this home will not require a sprinkler system.

The proposed finished living area is 6,456 square feet with some covered porches and a flat roof area to take advantage of the exterior views. A complete breakdown of the floor areas is on drawing sheet numbered "A-1" of my architectural plans, and a further breakdown on each respective drawing sheet within the plan set. The building coverage for this dwelling is to be determined. I claim it is 3,758 sq. ft.

From the average finished grade of 720.26' to the top of the parapet wall is a height of 28'-6", well within local zoning and NYS Code for this type of construction.

The exterior siding material is stucco with optional siding material such as accent stone or equal is at the discretion of the developer. Colors of siding, trim, leaders, windows, and doors to be selected later.

Respectfully,



Eric Knute Osborn, R.A.

Paul Gdanski, PE, PLLC

633 Woodmont Lane
Sloatsburg, NY 10974
(917) 418-0999
Email: pgski@earthlink.net

October 16, 2023

Village of Pomona
100 Ladentown Road
Pomona, NY 10970

Re: Planning Board Applications for:
92 Halley Drive – 19.17-1-36

Nelson Pope Voorhis Review Letter dated September 5, 2023

- 1) Legends: Please modify the plans so that the driveways and wood deck materials have different shading patterns or colors and indicate the designated shading for each in the legends.
 - **The legend has been revised to add the driveways and decks. The transparent shading has been modified so that the deck is more transparent than the driveway. We prefer to use shading rather than hatching as it makes text beneath the hatch more legible.**

- 2) Steep Slopes: ...The shading chosen for different slope categories does not seem to include any areas on the lots with slopes flatter than 15%. On lot 23 it appears that the measured square footage in the slopes table does not correspond to the shaded areas on the map. The applicant should clarify the type of hatching used for slopes greater than 35% to distinguish from slopes less than 15% and verify the amount of square footage in the Extremely Steep, Very Steep and Moderately Steep Slope categories corresponds with the steep slope areas shown on the slope plan sheets.
 - **Slopes flatter than 15% are not shaded as there isn't a special requirement for these areas. Lot 23, 24, 25, and 36 only have small areas of slopes less than 15%. Lot 37 contains some areas less than 15% slope. Again, areas not shaded or hatched are flatter than 15%. The hatching is clarified within the slope legend. There are three different hatch types on each lot and these are differentiated from slopes less than 15%, which are not hatched.**
 - **We have corrected the slope areas for lot 23 and verified others. Planning Board approval is required for disturbance to steep slope areas on each lot.**

- 3) Variances Required for Proposed Homes: With respect to the bulk and area standards, the application forms for each lot include variance requests which are inconsistent with the bulk tables provided on each plan. There are differing indications of whether variances are required, and wrong number values. These inconsistencies must be reconciled:
 - Lot 23: ...Once these development coverage numbers are fixed, a variance for development coverage may not be needed. A variance for a front setback reduction from the required 50 feet down to 25 is consistently requested on both the application and bulk table.

- a. **Inconsistencies have been corrected. A variance is not required for development coverage. However, a Planning Board waiver is required of section 130-16.M.(5)c. for retaining walls in excess of 10 feet. We are unable to tier the walls as it would cause too much additional disturbance.**
 - Lot 24: ...Once these development coverage numbers are fixed, a variance for development coverage may not be needed. A variance for a front setback reduction from the required 50 feet down to 25 is consistently requested on both the application and bulk table.
 - a. **Inconsistencies have been corrected. A variance is not required for development coverage. However, a Planning Board waiver is required of section 130-16.M.(5)c. for retaining walls in excess of 10 feet. We are unable to tier the walls as it would cause too much additional disturbance.**
 - Lot 25: ...Once these development coverage numbers are fixed, a variance for development coverage may not be needed. A variance for a front setback reduction from the required 50 feet down to 25 is consistently requested on both the application and bulk table.
 - a. **Inconsistencies have been corrected. A variance is not required for development coverage. However, a Planning Board waiver is required of section 130-16.M.(5)c. for retaining walls in excess of 10 feet. We are unable to tier the walls as it would cause too much additional disturbance.**
 - Lot 36: ...Once these numbers are fixed, a variance for development coverage may not be needed.
 - a. **Inconsistencies have been corrected. A variance is not required for development coverage.**
 - Lot 37: ...Once these numbers are fixed, a variance for development coverage may not be needed. A variance for a front setback reduction from the required 50 feet down to 43.2 is requested on the application form. However, on the bulk table the provided front setback is shown as 50 feet. Please reconcile the front setback provided on the application and plot plan. Depending on which value is correct, a front setback variance may not be required.
 - a. **Inconsistencies have been corrected. A variance is not required for development coverage.**
- 4) Retaining Walls: ...it appears that no walls are higher than ten feet. If any walls are higher than 10 feet, a Planning Board waiver would be required per 130-16.M.(5).
 - **A waiver has been indicated beneath the bulk table for walls greater than 10 feet on lot 23, 24 and 25. The walls greater than 10 feet in height are limited to directly adjacent to the proposed driveways on the north side, closest to the dwelling.**

If any of the proposed walls are higher than 8 feet, they must be set back at least 5 feet from the property line per 130-16.M.(1).

- **Walls in excess of 8 feet are set back at least 5 feet from the property lines.**

Any walls higher than 4 feet require landscaping at the top and bottom per 130-16.M.(2); please show retaining wall landscaping as previously requested for any walls over four feet.

- **Landscaping is now shown at top and bottom of proposed walls.**

Please provide specifications for the retaining wall materials per 130-16.M.(3), as previously requested.

- **The wall has not been designed yet. Once designed, the wall specifications will be submitted under separate cover.**

Please remove the incorrect reference on the bulk tables for lot 23, 24, and 25 that state "Variance Required of Section 130-16.L(1) – Retaining Walls in excess of 4 feet in Front Yard," as the correct standard for retaining walls is 130-16.M.(1), which requires a variance for retaining walls in excess of 8 feet located closer than 5 feet to a property line. Please request a variance for any walls 8 feet or over that are within 5 feet of the front lot line, or any other lot line.

- **The incorrect reference has been removed. Walls greater than 8 feet are not proposed within 5 feet of any lot line.**

5) Landscaping: ...However, while landscaping is shown along property lines, additional landscaping for any retaining walls over 4 feet high must be added (see comment 4 above).

- **Additional landscaping has been added for retaining walls.**

6) Grading: ...However, the applicant must show the proposed finished grading for proposed building drives, and yard areas as previously requested, with cut and fill estimates.

- **Proposed contours were shown as are the finished grades of the driveways. Two-foot contours are utilized, which is typical and not all front yards have a two-foot drop or gain in elevation. Driveway slopes are also provided. Spot grades are shown in the front yards as are top and bottom wall elevations. Cut & fill estimates were not requested previously. We have now added cut & fill calculations to the drawing for each lot.**

7) Contact Information: ...The applicant must provide the contact information of the property owner, applicant, contact person and attorney on Page 3 of each application form for each lot.

- **This information has been added to the application by the applicant.**

8) Affidavit of ownership: ...we will defer to the Planning Board attorney's determination if Mr. Jeannot has adequately demonstrated his right, title, or interest to apply for the Beverly Hills NY, LLC – the record owner of the property.

- **Comment noted.**

- 9) Owners within 500 feet: ...the applicant has not filled out page 8 of the application form for each lot, as previously requested. The applicant must list all owners within 500 feet of the existing property for proper notice.
 - **This has now been provided by the applicant.**
- 10) Height: ...the applicant has not submitted architectural plans as part of the submission to verify the proposed height of each home, as previously requested...If the proposed homes do not comply with these height standards, then area variances will be required for height in addition to the variances already indicated as needed.
 - **Comment noted. Architectural drawings have been submitted for review.**
- 11) Architectural Plans: ...We will defer to the Building Inspector to review the means of egress, sprinkler requirements, and all other applicable features, for compliance with State fire and building codes.
 - **Comment noted.**
- 12) ...The applicant should provide an EAF Mapper Summary Report for each individual lot and attach such to each SEAF Part 1 Form.
 - **The summary report is now provided with each application.**
- 13) Construction of a house on an approved lot may be categorized as a Type II action under SEQRA, per 6 NYCRR 617.5, subpart (c)(11). When first reviewed by the Planning Board, the Planning Board should categorize the action as Type II, and then no further SEQRA action will be required. The applicant will still need to be sensitive and comply with any applicable DEC State regulations regarding the presence of Northern Long-Eared Bats or Archaeological sites, if found – as the EAF mapper shows that such resources MAY be present.
 - **Comment noted.**
- 14) GML Review by the Rockland County Planning Department will be required as the proposed lots under review are all within 500 feet of Call Hollow Road, a County road, as well as within 500 feet of Harriman State Park. GML 239-nn review is also required by the Town of Ramapo, as the lots are within 500 feet of the Town Boundary.
 - **Comment noted.**

Spence Engineering Letter dated September 1, 2023

- 1) S-1. Provide title, north arrow and scale on vicinity map.
 - **Title, north arrow, and scale have been added to the vicinity map.**
- 2) S-2. Provide proposed height of building in bulk table.
 - **The proposed height is provided.**
- 3) S-3. Graphic scale missing “10” (all plans).
 - **The graphic scale has been corrected.**

- 4) S-4. Provide size of drywell area.
 - **The size of the drywell area has been added to the callout for the system.**
- 5) S-5. Label width of driveway.
 - **Driveways are now labeled with width.**
- 6) S-6. Show material and size of front walkway; provide detail.
 - **The walkways are now labeled with "5' wide conc. Sidewalk". A detail has also been provided for "standard concrete sidewalk".**
- 7) S-7. Label / provide fence along top of retaining wall where required for fall protection. Provide a detail.
 - **The walls are now labeled with the fence as well. The fence is shown on the wall detail.**
- 8) S-8. Show door locations on plan. All entrances should have concrete (or other appropriate material) landing area. Architectural plans show an entrance to the garage with a concrete sidewalk on the north side of the building.
 - **Door locations have been added. The garage door on the north side has been removed on lots 23 and 24.**
- 9) S-9. Provide cut/fill summary.
 - **Approximate cut/fill calculations have been completed. The cut/fill amount is stated within the limit of disturbance notation on the plans. The results are as follows:**
 - **Lot 23: 2,000 CY of fill**
 - **Lot 24: 2,200 CY of fill**
 - **Lot 25: 4,000 CY of fill**
 - **Lot 36: 13,000 CY of Cut**
 - **Lot 37: 15,000 CY of Cut**
- 10) S-10. Provide roof drain size and note that all roof drains shall be connected to the on-site stormwater system.
 - **Roof leaders are now labeled with size. A note has been added to the drywell detail that all leaders are 6" diameter and are to be connected to the drywell system.**
- 11) S-11. Show water and gas connections in the street; clarify if new road openings are required or are utilities stubbed behind the curb line.
 - **New road openings are not required. The utilities are existing and stubbed behind the curb line. Water and gas valves are now shown behind the curb line.**
- 12) S-12. Provide sanitary sewer profile.

- **The sewer main within Halley Drive is existing. No new mains are proposed. Slopes of new sewer connections are indicated on the drawing and are all greater than 2%.**
- 13) S-13. Label drop curb at driveway.
- **Drop curb is now labeled.**
- 14) S-14. ORU should review improvements in the easement.
- **Comment noted. We will provide plans to ORU for review.**
- 15) S-15. Provide foundation plantings (a typical layout for all lots is acceptable).
- **Foundation plantings are now shown. They have been added to the planting schedule.**
- 16) S-16. Provide a tree protection detail.
- **A tree protection detail, tree planting detail, and shrub planting detail have been added to the landscape sheet.**
- 17) S-17. Slope Table patterns should match scale of the plan; 35% - 100% slope pattern is not clearly shown.
- **The hatch pattern for 35%-100% slopes has been changed to a transparent solid hatch, which should make the slope plan legible.**
- 18) S-18. Provide depressed curb detail.
- **A depressed curb detail is shown on the detail sheet.**
- 19) S-19. "Building Sewer Cleanout" is missing.
- **Cleanouts are shown along the sanitary sewer connection and a detail is provided on the detail sheet.**
- 20) S-20. Provide roof drain detail.
- **A roof drain detail is now provided on the landscaping sheet.**
- 21) S-21. Provide planting details.
- **Shrub and tree planting details are now provided on the landscaping sheet.**
- 22) S-22. Drainage analysis should address the change of land use. The existing area to be developed is classified as "fair woods"; the proposed area will be impervious and lawn area. Include the entire developed area in the analysis.
- **The drainage analysis has been revised to account for the change from fair woods to grass. The revised calculations are included on the detail sheet for each lot.**
- 23) S-23. Deck area is included in the drainage analysis, however deck runoff with discharge to the west and not reach the drywells. Review if drywell(s) installed to the west of dwelling will collect runoff.

- **All decks will be connected to the drywell systems via Trex RainEscape Deck Drainage System. The decks are now labeled accordingly and a note has been added to the drywell detail stating that all decks are to be connected to the drainage system through this product.**

Very truly yours,

Paul Gdanski

Paul Gdanski, P.E.

APPLICATION REVIEW FORM

PART I

Name of Municipality Village of Pomona Date 10/31/23

Please check all that apply:

<input checked="" type="checkbox"/> Planning Board	<input type="checkbox"/> Municipal Board
<input type="checkbox"/> Zoning Board of Appeals* <i>(*Fill out Parts I & II of this form)</i>	<input type="checkbox"/> Historical Board
	<input type="checkbox"/> Architectural Board
<input type="checkbox"/> Subdivision _____ # of Lots _____	<input type="checkbox"/> Pre-preliminary/Sketch
<input checked="" type="checkbox"/> Site Plan	<input type="checkbox"/> Preliminary
<input type="checkbox"/> Special Permit	<input type="checkbox"/> Final
<input type="checkbox"/> Conditional Use	
<input type="checkbox"/> Zoning Code Amendment	
<input type="checkbox"/> Zone Change	
<input type="checkbox"/> Variance	

Project Name: 92 Halley Drive (Lot 36)

Tax Map Designation:

Section 19.17 Block 1 Lot(s) 36
Section _____ Block _____ Lot(s) _____

Location: On the West side of Halley Drive,
1,500 feet North of North Ridge Road in the
town/village of Pomona.

Street Address: 92 Halley Drive

Acreage of Parcel 0.92 Zoning District R-40

School District Haverstraw Postal District Pomona

Fire District Moleston Ambulance District Ramapo Valley

Water District _____ Suez Water Sewer District Haverstraw Joint Regional

Project Description: *(If additional space required, please attach a narrative summary.)*

Construction of a single family home.

APPLICATION REVIEW FORM

If subdivision:

- 1) Is any variance from the subdivision regulations required? _____
- 2) Is any open space being offered? ____ If so, what amount? _____
- 3) Is this a standard or average density subdivision? _____

If site plan:

- 1) Existing square footage 0
- 2) Total square footage 5,000
- 3) Number of dwelling units 1

If special permit, list special permit use and what the property will be used for.

Environmental Constraints:

Are there slopes greater than 25%? If yes, please indicate the amount and show the gross and net area. yes

Are there streams on the site? If yes, please provide the names. No

Are there wetlands on the site? If yes, please provide the names and type. No

Project History: Has this project ever been reviewed before? Yes

If so, provide a narrative, including the list case number, name, date, and the board(s) you appeared before, and the status of any previous approvals.

List tax map section, block & lot numbers for all other abutting properties in the same ownership as this project.

19.17-1-22, 23, 24, 25, 29, 30, 31, 32, 33, 34, 35, 36, 37, 25.05-1-2, 3, 4 & 5

APPLICATION REVIEW FORM

Contact Information:

Applicant: Beverly Hills of NY LLC Phone # 845-641-3200
 Address 7 West Prospect St., Nanuet, NY 10954

Street Name & Number (Post Office) State Zip code

Property Owner: Beverly Hills of NY LLC Phone # 845-641-3200
 Address 7 West Prospect St., Nanuet, NY 10954

Street Name & Number (Post Office) State Zip code

Engineer/Architect/Surveyor: Paul Gdanski, PE, PLLC Phone # (917)418-0999
 Address 633 Woodmont Lane Sloatsburg, NY 10974

Street Name & Number (Post Office) State Zip code

Attorney: Rudolph Zodda Phone # 845-729-8325
 Address 1 Blueberry Hill Plaza, 3rd Floor, Pearl River, NY 10965

Street Name & Number (Post Office) State Zip code

Contact Person: Wetzer Jeannot Phone # 845-641-3200
 Address 50 Pleasant Ave., Upper Saddle River, NJ 07458

Street Name & Number (Post Office) State Zip code

General Municipal Law Review:

This property is within 500 feet of:
(Check all that apply)

IF ANY ITEM IS CHECKED, A REVIEW MUST BE DONE BY THE ROCKLAND COUNTY COMMISSIONER OF
 PLANNING UNDER THE STATE GENERAL MUNICIPAL LAW, SECTIONS 239 L, M, N, AND NN.

- | | |
|--|--|
| <input checked="" type="checkbox"/> State or County Road | <input checked="" type="checkbox"/> State or County Park |
| <input type="checkbox"/> Long Path | <input type="checkbox"/> County Stream |
| <input checked="" type="checkbox"/> Municipal Boundary | <input type="checkbox"/> County Facility |

List name(s) of facility checked above. Call Hollow Road, Harriman State Park,
Haverstraw boundary

Referral Agencies: *(Please make sure that the appropriate agencies as needed received copies of your application and plans for their review.)*

- | | |
|---|---|
| <input checked="" type="checkbox"/> RC Highway Department | <input type="checkbox"/> RC Division of Environmental Resources |
| <input type="checkbox"/> RC Drainage Agency | <input checked="" type="checkbox"/> RC Dept. of Health |
| <input type="checkbox"/> NYS Dept. of Transportation | <input type="checkbox"/> NYS Dept. of Environmental Conservation |
| <input type="checkbox"/> NYS Thruway Authority | <input checked="" type="checkbox"/> Palisades Interstate Park Comm. |
| <input checked="" type="checkbox"/> Adjacent Municipality <u>Town of Haverstraw</u> | |
| <input type="checkbox"/> Other _____ | |

****All applicants must send copies of their applications and plans to:**
 Orange and Rockland, Regional manager, 75 West Route 59, Spring Valley, NY 10997.

APPLICATION REVIEW FORM

Applicant's Combined Affidavit and Certification

State of New York)
County of Rockland) ss.:
Town/Village of Pomona)

Wetzer Jeannot, being duly sworn, deposes and says:
Applicant's Name

I am the applicant in this matter. I make these statements to induce the Town/Village of Pomona, its boards, commissions, officers, employees, and consultants, to entertain my application, knowing that the Town/Village will rely upon the statements made herein.

1. Verification of Facts. All statements contained in this application and in all documents, drawings, writings, and other communications submitted in connection with this application are true.

2. Consent to Enter. I hereby give permission to members of said boards and/or supporting staff to visit the property in question at a reasonable time during the day.

3. Affidavit Pursuant to General Municipal Law Section 809. All the following statements and the statements contained in the papers submitted herewith are true and the nature and extent of any interests set forth are disclosed to the extent that they are known to the applicant.

A. I certify that I am the owner, officer, member or agent of owner, of all that certain lot, piece or parcel of land and/or building described in this application **and if not the owner that he has been duly and properly authorized to make this application and to assume responsibility for the owner** in connection with this application for the relief below set forth:

B. There is no state officer, Rockland County officer or employee or town/village officer or employee nor his or her spouse, brother, sister, parent, child or grandchild, or a spouse of any of these relatives who is the applicant or who has an interest in the person, partnership or association making this application, petition or request, or is an officer, director, partner or employee of the applicant, or that such officer or employee, if this applicant is a corporation, legally or beneficially owns or controls any stock of the applicant in excess of 5% of the total of the corporation if its stock is listed on the New York or American Stock Exchanges; or is a member or partner of the applicant, if the applicant is an association or a partnership; nor that such town/village officer or employee nor any member of his family in any of the foregoing classes is a party to an agreement with the applicant, express or implied, whereby such officer or employee may receive any payment or other benefit, whether or not for service rendered, which is dependent or contingent upon the favorable approval of this application, petition or request.

APPLICATION REVIEW FORM

C. To the extent that the same is known to your applicant, and to the owner of the subject premises there is disclosed herewith the interest of the following officer or employee of the State of New York or the County of Rockland or of the Town/Village of Pomona in the petition, request or application or in the property or subject matter to which it relates:

(if none, so state)

- a. Name and address of officer or employee _____

- b. Nature of interest _____
- c. If stockholder, number of shares _____
- d. If officer or partner, nature of office and name of partnership _____
- e. If a spouse or brother, sister, parent, child, grandchild or the spouse of any of these blood relatives of such state, county or town/village officer or employee, state name and address of such relative and nature of relationship to officer and employee and nature and extent of office, interest or participation or association having an interest in such ownership or in any business entity sharing in such ownership. _____

- f. In the event of corporate or limited liability company ownership: A list of all directors, officers and stockholders of each corporation or members of each limited liability company owning more than five (5%) percent of any class of stock or more than five (5%) percent beneficial interest, must be attached, if any of these are officers or employees of the State of New York, or of the County of Rockland, or of the Town/Village of _____.

D. I do hereby depose and say that all the above statements and statements contained in the papers submitted herewith are true, knowing that a person who knowingly and intentionally violates this section is guilty of a misdemeanor.

4. Reimbursement for Professional Consulting Services. I understand that the Town/Village Board, Planning Board, Zoning Board of Appeals, and other municipal boards, in the review of any application described above, may refer any such application presented to it to such engineering, planning, environmental or other technical consultant as such Board shall deem reasonably necessary to enable it to review such application as required by law. The charges made by such consultants shall be in accord with charges usually made for such services in the metropolitan New York region or pursuant to an existing contractual agreement between the town/village and each such consultant for the cost of such consultant services upon receipt of the bill.

APPLICATION REVIEW FORM

5. Application Fee(s)

I, Wetzer Jeannot, have paid to the Town/Village Clerk and/or Treasurer, the required fee for this application. (The fee is subject to the Schedule of Fees of the municipality). I shall review a copy of the zoning Local Law and Land Development Regulations, and be ready and prepared to review this application when scheduled. The Municipal Board, Planning Board, or Zoning Board of Appeals in the review of any application described above, may refer the subject application to an engineering, planning, environmental, or other technical consultant as such Board shall deem reasonably necessary to enable it to review the application as required by law.

***The following paragraph is optional to add if your municipality establishes escrow accounts:*

(I agree to establish an escrow account with the Town/Village of Pomona from which these consultants' fees will be paid. The escrow account will not draw interest, and will be replenished upon notification by the Town/Village. Any additional sums needed to pay the Town's/Village's consultants shall be paid prior to final action on the application. The Town/Village may suspend processing of the application if there is a deficiency in the escrow account. Permits will not be issued and site plan or subdivision will not be signed until bill is paid in full. Any sums remaining in the escrow account after the consultants have been paid in full will be returned to the applicant. The applicant has the right to examine escrow and payment records upon prior written notice to the Town/Village.)

Applicant's Signature

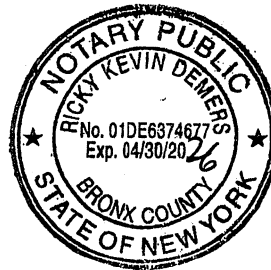
Print Applicant's Name Wetzer Jeannot

SWORN to before me this

3rd day of November, 2023



Notary Public



I have received from _____ the sum of _____ on this date

Reviewed by the _____ on _____
Municipal Clerk/Treasurer

Action Taken: _____

APPLICATION REVIEW FORM

Affidavit of Ownership/Owner's Consent

State of New York)
County of Rockland) SS.:
Town/Village of Pomona)

I, Wetzer Jeannot being duly sworn, hereby
depose and say that I reside at: 50 Pleasant Ave., Upper Saddle River, NJ

in the county of Bergen in the state of New Jersey.

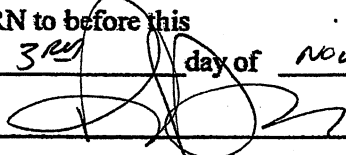
I am the (* _____) owner in fee simple of premises located at:

described in a certain deed of said premises recorded in the Rockland County Clerk's
Office in Liber _____ of conveyances, page _____ or as Instrument ID # _____.

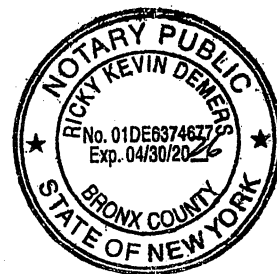
Said premises have been in my/its possession since _____. Said premises are also
known and designated on the Town of Haverstraw Tax Map as:
section 19.17 block 1 lot(s) 22, 23, 24, 25, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 25.05-1-2, 3, 4
& 5

I hereby authorize the within application on my behalf, and that the statements of fact
contained in said application are true, and agree to be bound by the determination of the
board.

Owner _____
Mailing Address _____

SWORN to before this
3rd day of NOVEMBER, 2023


Notary Public



* If owner is a corporation or LLC, fill in the office held by deponent and name of corporation or LLC, and provide a list of all directors, officers, and stockholders owning more than 5% of any class of stock and all members having greater than 5% beneficial interest.

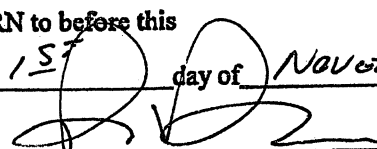
APPLICATION REVIEW FORM

Owners of Nearby Properties:

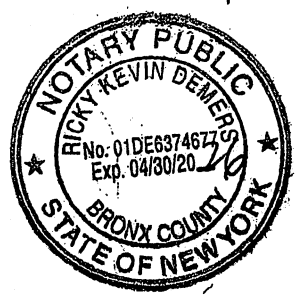
That the following are all of the owners of property 500 feet (distance)
 from the premises as to which this application is being taken.

<u>SECTION/BLOCK/LOT</u>	<u>NAME</u>	<u>ADDRESS</u>

(use additional paper if needed)

SWORN to before this
15th day of November, 2027


 Notary Public



1 ← Halley Drive

- 392205 19.17-1-13
Daniel Monfiston
318 Call Hollow Rd
Stony Point, NY 10980
- 392205 19.17-1-16
Nelson Sanchez
Diana Sanchez
306 Call Hollow Rd
Stony Point, NY 10980
- 392205 19.17-1-19
Michael P. Rooney
Harrison B. Jones
71 Call Hollow Rd
Pomona, NY 10970
- 392205 19.17-1-23
Beverly Hills NY LLC
7 West Prospect St
Nanuet, NY 10954
- 392205 19.17-1-26
Marc Bass
Marc Bass Rev Trust
101 Halley Dr
Pomona, NY 10970
- 392205 19.17-1-32
Beverly Hills NY LLC
7 West Prospect St
Nanuet, NY 10954
- 392205 19.17-1-35
Beverly Hills NY LLC
7 West Prospect St
Nanuet, NY 10954
- 392205 19.17-1-39
Samuel Shechter Living Trust
Marcia Shechter Living Trust
31 So. Mountain Rd
New City, NY 10956
- 392205 19.17-1-42
Viviane Atzur
7 North Ridge Rd
Pomona, NY 10970
- 392205 19.17-1-45
KTI YGK Trust
Kest Yitzchak
13 North Ridge Rd
Pomona, NY 10970
- 392205 19.17-1-14
Elizabeth Sanchez
5 Woolf Rd
Stony Point, NY 10980
- 392205 19.17-1-17
Christopher Bass
Anne Bass
302 Call Hollow Rd
Stony Point, NY 10980
- 392205 19.17-1-20
Yosef Shloimy Greenwald
144 Call Hollow Rd
Pomona, NY 10970
- 392205 19.17-1-24
Beverly Hills NY LLC
7 West Prospect St
Nanuet, NY 10954
- 392205 19.17-1-27
Israel Friedman
Rachel Friedman
2018 60th St
Brooklyn, NY 11204
- 392205 19.17-1-33
Beverly Hills NY LLC
7 West Prospect St
Nanuet, NY 10954
- 392205 19.17-1-37
Beverly Hills NY LLC
87 Halley Dr
Pomona, NY 10970
- 392205 19.17-1-40
84 Halley LLC
88 Halley Dr
Pomona, NY 10970
- 392205 19.17-1-43
Michael Rosenberg
9 North Ridge Rd
Pomona, NY 10970
- 392205 19.17-1-46
Rutland Castle LLC
15 North Ridge Rd
Pomona, NY 10970
- 392205 19.17-1-15
Norman Schoenfeld
Merle Schoenfeld
314 Call Hollow Rd
Stony Point, NY 10980
- 392205 19.17-1-18
Jean-Claude Cadet
Claudette Cadet
300 Call Hollow Rd
Stony Point, NY 10980
- 392205 19.17-1-22
Beverly Hills NY LLC
7 West Prospect St
Nanuet, NY 10954
- 392205 19.17-1-25
Beverly Hills NY LLC
7 West Prospect St
Nanuet, NY 10954
- 392205 19.17-1-28
John Famodimu
Rhoda Famodimu
105 Halley Dr
Pomona, NY 10970
- 392205 19.17-1-34
Beverly Hills NY LLC
7 West Prospect St
Nanuet, NY 10954
- 392205 19.17-1-38
Naphtali Marrus
88 Halley Dr
Pomona, NY 10970
- 392205 19.17-1-41
84 Halley LLC
82 Halley Dr
Pomona, NY 10970
- 392205 19.17-1-44
Michael Rosenberg
Hadassah Rosenberg
726 East 4th St
Brooklyn, NY 11208
- 392205 19.17-1-47
Enrique Troncoso
Marianne A. Panicucci
17 North Ridge Rd
Pomona, NY 10970

42 Halley Drive

392205 19.17-1-48
Beverly Hills NY LLC

87 Halley Dr
Pomona, NY 10970

392205 19.17-1-68

Moshe Danzinger
Tzipporah Danzinger
16 North Ridge Rd
Pomona, NY 10970

392289 19.17-3-1

Barbara Benary
Steven Silverstein
307 Call Hollow Rd
Stony Point, NY 10980

392289 19.17-3-4
Edward Ehrlich

494 Third St Apt4
Brooklyn, NY 11215

392205 19.17-1-66
Lipot Rosenberg

20 North Ridge Rd
Pomona, NY 10970

392205 19.17-1-69
David Derusha

14 North Ridge Rd
Pomona, NY 10970

392289 19.17-3-2

Peter Bobrow
Rachel Bobrow
305 Call Hollow Rd
Stony Point, NY 10980

392205 19.17-1-67

Dov B. Landa
Chana Landa
18 North Ridge Rd
Pomona, NY 10970

392205 19.17-1-70

Peretz Stern
Malka Adina Stern
12 North Ridge Rd
Pomona, NY 10970

392289 19.17-3-3

Deanna M. Rose
303 Call Hollow Rd
Stony Point, NY 10980

Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

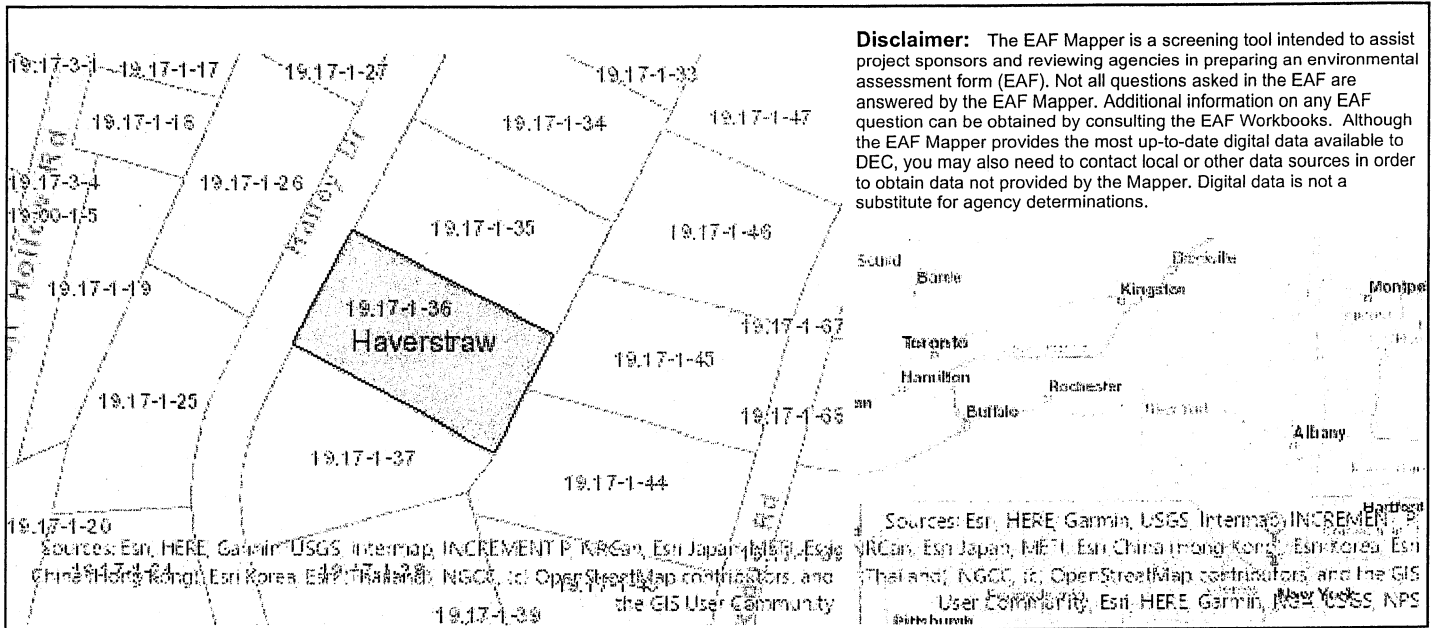
Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: 92 Halley Drive			
Project Location (describe, and attach a location map): 92 Halley Drive			
Brief Description of Proposed Action: Construction of a single family home			
Name of Applicant or Sponsor: Beverly Hills of NY LLC		Telephone: 845-641-3200	
		E-Mail: wetzerj@me.com	
Address: 7 West Prospect St.			
City/PO: Nanuet		State: NY	Zip Code: 10954
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			NO <input checked="" type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency? If Yes, list agency(s) name and permit or approval: Planning Board/Zoning Board			YES <input checked="" type="checkbox"/>
3. a. Total acreage of the site of the proposed action?			0.92 acres
b. Total acreage to be physically disturbed?			0.34 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?			21.4 acres
4. Check all land uses that occur on, are adjoining or near the proposed action:			
5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)			
<input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):			
<input type="checkbox"/> Parkland			

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels? b. Are public transportation services available at or near the site of the proposed action? c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: Homes will meet or exceed energy code _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply? If No, describe method for providing potable water: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities? If No, describe method for providing wastewater treatment: _____	NO	YES	
	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency? b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____	NO	YES	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	
	<input checked="" type="checkbox"/>	<input type="checkbox"/>	

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:		
<input type="checkbox"/> Shoreline	<input type="checkbox"/> Forest	<input type="checkbox"/> Agricultural/grasslands
<input type="checkbox"/> Wetland	<input type="checkbox"/> Urban	<input checked="" type="checkbox"/> Suburban
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?		NO YES
Northern Long-eared Bat		<input type="checkbox"/> <input checked="" type="checkbox"/>
16. Is the project site located in the 100-year flood plan?		NO YES
		<input checked="" type="checkbox"/> <input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources?		NO YES
If Yes,		<input type="checkbox"/> <input checked="" type="checkbox"/>
a. Will storm water discharges flow to adjacent properties?		<input type="checkbox"/> <input checked="" type="checkbox"/>
b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?		<input type="checkbox"/> <input checked="" type="checkbox"/>
If Yes, briefly describe:		
Run-off will continue to natural path.		
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?		NO YES
If Yes, explain the purpose and size of the impoundment:		<input checked="" type="checkbox"/> <input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?		NO YES
If Yes, describe:		<input checked="" type="checkbox"/> <input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?		NO YES
If Yes, describe:		<input checked="" type="checkbox"/> <input type="checkbox"/>
<p>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor/name: _____ Date: <u>5/13/23</u></p> <p>Signature: _____ Title: _____</p>		



Part 1 / Question 7 [Critical Environmental Area]	No
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	No
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Northern Long-eared Bat
Part 1 / Question 16 [100 Year Flood Plain]	No
Part 1 / Question 20 [Remediation Site]	No

TAX LOT: SECTION 19.17, BLOCK 1, LOT 36
REFERENCES:

- ALL BOUNDARY INFORMATION IS REFERENCED FROM A SURVEY PREPARED BY ANTHONY CELENTANO, P.L.S., DATED FEBRUARY 26, 2021, BEING LOT 8 BLOCK C ON A CERTAIN MAP ENTITLED "HIGHGATE ESTATES, SHEET ONE, TWO, AND THREE" FILED IN THE ROCKLAND COUNTY CLERK'S OFFICE AS MAP #3727 BOOK #75 PAGE #42, 43, AND 44 ON 5/28/1968.

BULK TABLE - SINGLE FAMILY RESIDENTIAL

ZONE	MINIMUM LOT AREA	LOT WIDTH (FEET)	LOT FRONTAGE (FEET)	LOT DEPTH (FEET)	FRONT YARD (FEET)	REAR YARD (FEET)	SIDE YARD (FEET)	TOTAL SIDE YARD (FEET)	BLDG. COV. (PERCENT)	DEV. COV. (PERCENT)	MAXIMUM HEIGHT (FEET)
R-40	40,000	150	100	140	50	30	25	50	15	20	35
PROVIDED	40,050	150.0	150.0	267.0	51.5	150.5	25.7	65.0	14.4	14.4	26.5

* VARIANCE REQUIRED

DEVELOPMENT COVERAGE

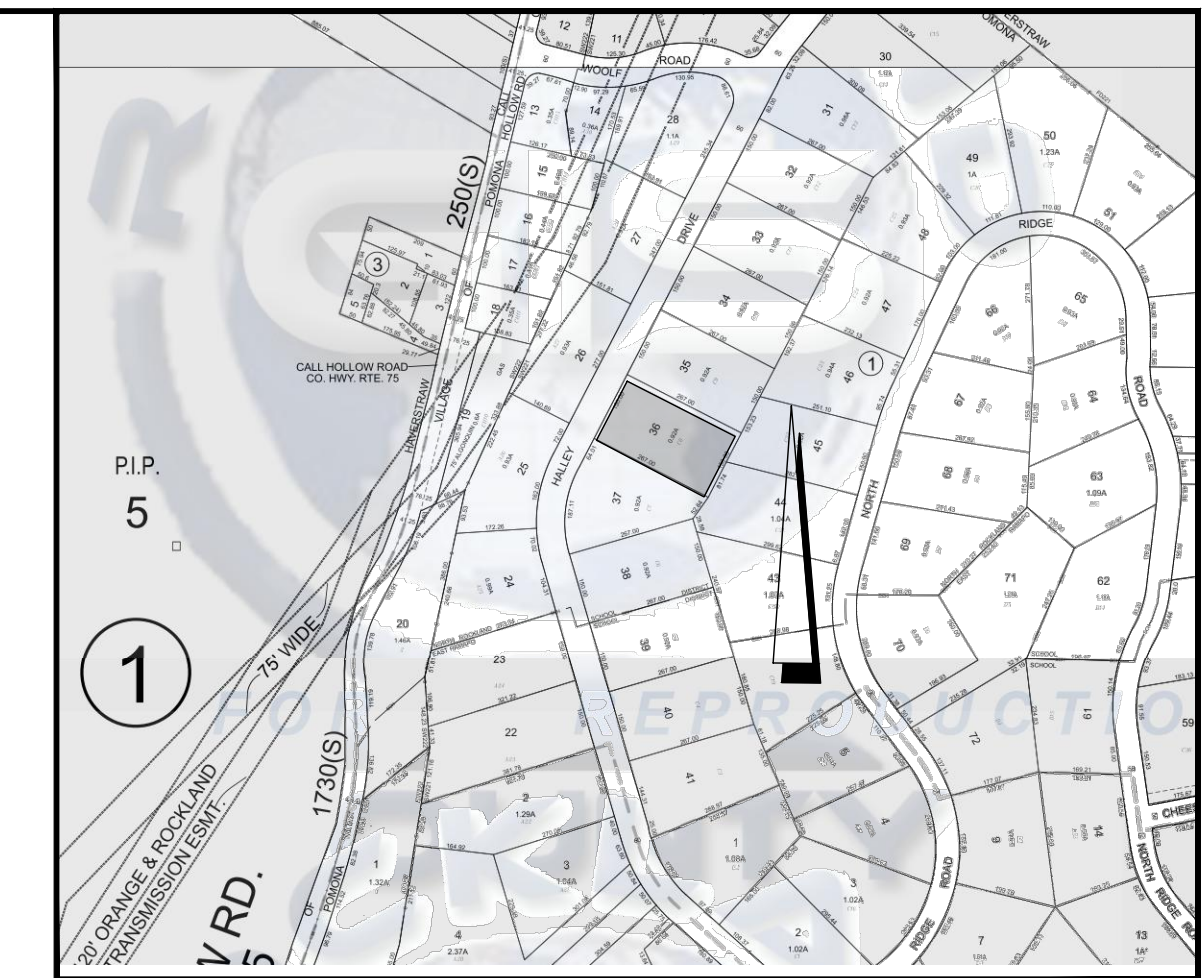
PROP. DWELLING - 3457 SF
PROP. DRIVEWAY - 441 SF
PROP. DRIVEWAY - 1688 SF
TOTAL - 5786 SF / 40050 SF = 14.4%

BLDG. COV.

PROP. DWELLING - 3457 SF
PROP. DRIVEWAY - 441 SF
PROP. DRIVEWAY - 1688 SF
TOTAL - 5786 SF / 40050 SF = 14.4%

BLDG. HEIGHT

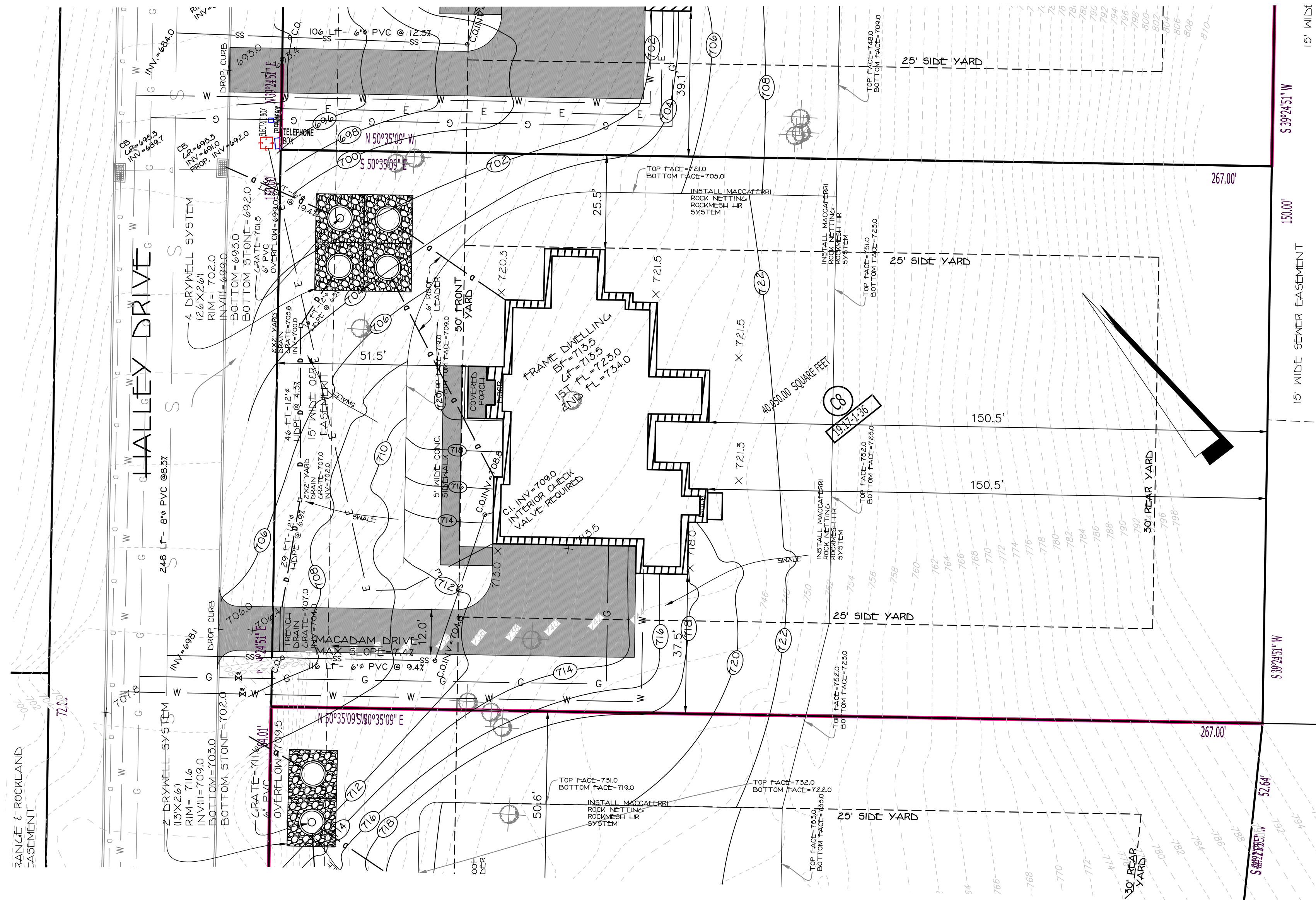
AVG. GRADE @ FRONT = 716.0
ROOF ELEV. = 744.5
HEIGHT = 26.5 FEET



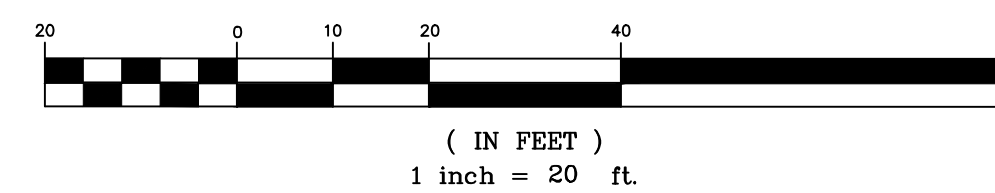
VICINITY MAP
SCALE: 1" = 400'

NOTES:

- THIS IS A PLOT PLAN FOR TAX LOTS 1917-1-36 AS SHOWN ON THE TOWN OF RAMAPO TAX MAP.
- AREA OF PARCEL: 0.92 AC (40,050 SF) TOTAL
- OWNER: BEVERLY HILLS NY, LLC
7 WEST PROSPECT STREET
NANUET, NY 10954
APPLICANT: WETZER JEANNOT
50 PLEASANT AVENUE
UPPER SADDLE RIVER, NJ
- MONUMENTS IN ACCORDANCE WITH VILLAGE SPECIFICATIONS TO BE SET AT LOCATIONS MARKED ON THE PLAT.
- ALL PROPERTY CORNERS SHALL BE MARKED WITH 3/4 INCH IRON PIPES
- ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND
- SANITARY SEWER AND WATER SERVICE LINES SHALL BE LAID IN SEPARATE TRENCHES WITH A MINIMUM HORIZONTAL SEPARATION OF 10 FEET.
- IF THE LOWEST FLOOR TO BE SCHEDULED IS BELOW THE UPSTREAM MANHOLE'S RIM ELEVATION, AN INTERIOR CHECK VALVE IS TO BE INSTALLED.
- A SEWER PERMIT MUST BE OBTAINED FROM THE TOWN OF RAMAPO PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. THE SEWER INSPECTION FEE IS PAYABLE TO THE TOWN OF RAMAPO.
- NO BUILDING PERMITS WILL BE ISSUED UNTIL SUCH TIME AS THE EROSION CONTROL MEASURES REQUIRED AS PART OF THE EROSION CONTROL PLAN ARE INSTALLED TO THE SATISFACTION OF THE BUILDING INSPECTOR AND THE VILLAGE ENGINEER.
- ALL SITE CONSTRUCTION IS SUBJECT TO COMPLIANCE WITH ALL LAWS, REGULATIONS, AND SPECIFICATIONS OF THE VILLAGE OF POMONA AND WITH ALL DETAILS AND SPECIFICATIONS INDICATED ON THE APPROVED CONSTRUCTION PLANS, AS A MINIMUM.
- UNAUTHORIZED ALTERATION OR ADDITION TO A MAP BEARING A LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW.
- EASEMENTS OR RIGHTS OF WAYS ON OR UNDER THE SURFACE OF THE LANDS AND NOT VISIBLE ARE NOT SHOWN.
- UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.
- INSTALLATION OF ALL UTILITIES IN SITE WORK SHALL BE IN CONFORMANCE WITH OSHA REGULATIONS.
- THE RETAINING WALLS OVER 4 FEET IN HEIGHT SHALL BE INSPECTED BY A NYS LICENSED PROFESSIONAL ENGINEER DURING INSTALLATION AND THE ADEQUACY OF THE RETAINING WALL SHALL BE CERTIFIED IN WRITING PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- THE DEVELOPER SHALL CONFORM TO THE NEW YORK GUIDELINES FOR URBAN EROSION AND SEDIMENT CONTROL SUBJECT TO MODIFICATIONS BY THE DEPARTMENT OF ENVIRONMENTAL CONTROL.
- ALL HOUSES SHALL RECEIVE SANITARY SERVICE BY GRAVITY WITH A MINIMUM SLOPE OF 2%.
- STREET TREES TO BE INSTALLED AS REQUIRED. TREES SHALL BE RED MAPLE 3" TO 3-1/2" CALIBER SPACED A MINIMUM OF 40 FEET ON CENTER.
- FOOTING DRAINS WITH GRAVITY DISCHARGE SHALL BE PROVIDED.
- EXCESS EXCAVATED MATERIALS SHALL BE REMOVED FROM THE SITE SO THAT DISTURBANCE TO STEEP SLOPE AREAS IS MINIMIZED.
- ANY TREE REMOVAL SHOULD TAKE PLACE BETWEEN NOVEMBER 1 AND MARCH 31.

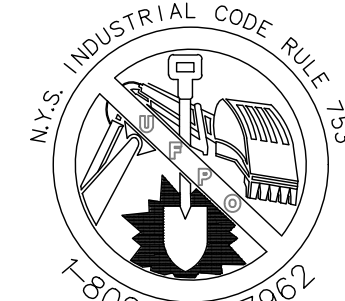


GRAPHIC SCALE



LEGEND

- EXISTING PROPERTY LINE
- SILT FENCE
- ELECTRIC
- GAS
- WATER
- UTILITY POLE
- SEWER MANHOLE
- SEWER MAIN
- SANITARY CLEANOUT
- DRYWELL/STONE
- CATCH BASIN
- DRAINAGE PIPE
- INLET PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE
- TREE TO BE REMOVED
- PROPOSED STREET LIGHT
- DRIVEWAY
- WOOD DECK



CALL BEFORE YOU DIG - DRILL OR BLAST
NO LESS THAN TWO BUSINESS DAYS NOTICE
IT'S THE LAW!

UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS PLAN IS A VIOLATION OF SECTION 7209(2) OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS MAP NOT HAVING THE SEAL OF THE SURVEYOR OR ENGINEER SHALL NOT BE VALID.

CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. USE OF UNSEALED COPIES OF THIS DOCUMENT IN ANY COURT, FINANCIAL OR LAND TRANSACTION, OR FILING WITH ANY AGENCY OR OFFICE IS AN UNAUTHORIZED VIOLATION OF FEDERAL COPYRIGHT LAW.

PAUL GDANSKI, P.E., PLLC
653 WOODMONT LANE
SLOATSBURG, NY 10974
TEL: (917) 418-0999
EMAIL: PGSKI@EARTHLINK.NET

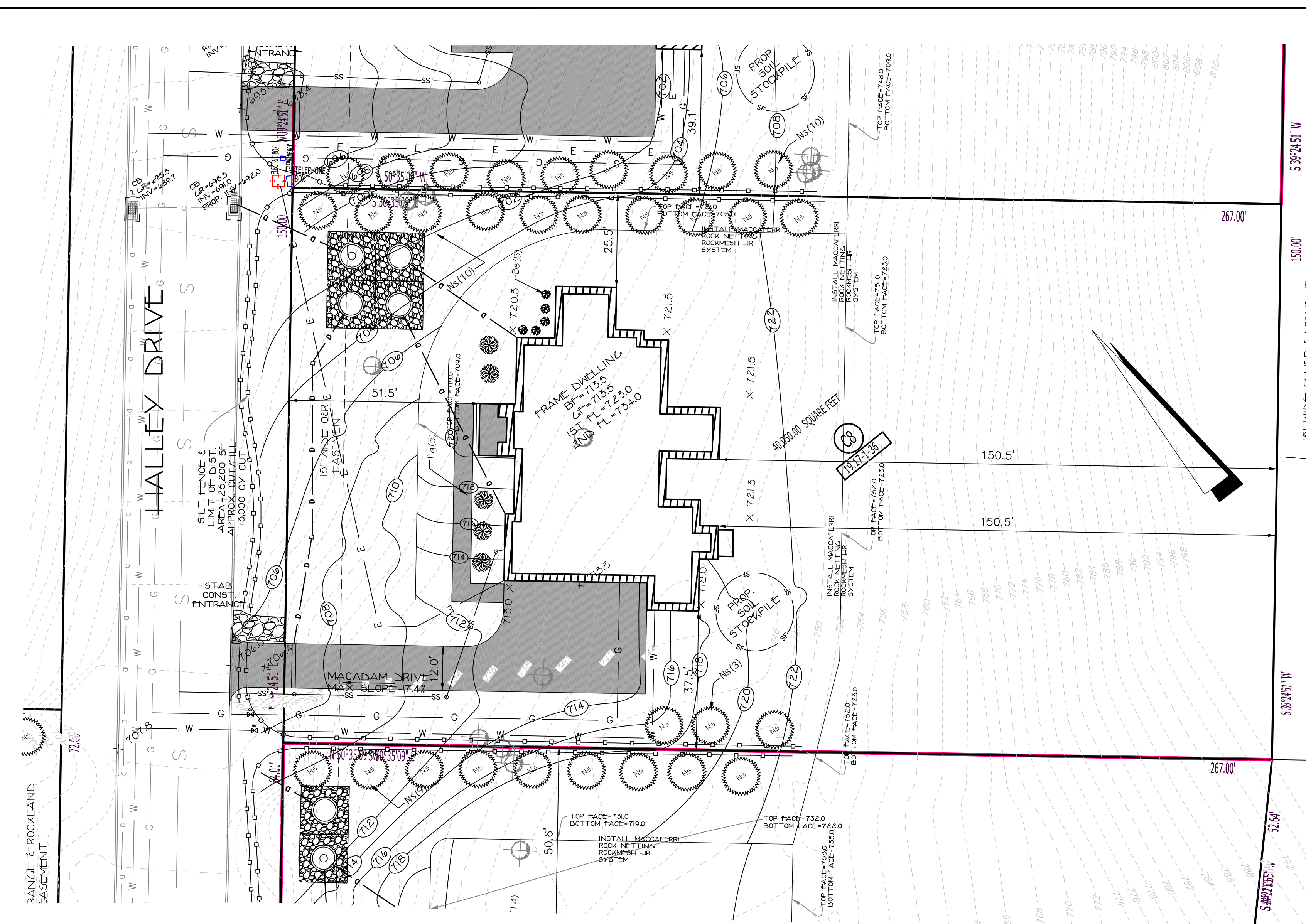
PAUL GDANSKI, P.E. 075890 ©

DATE	REVISIONS
DEC 18, 2023	REVISIONS PER PLANNER & ENGINEER
OCT 16, 2023	REVISIONS PER PLANNER & ENGINEER
SEP 18, 2023	REVISIONS PER PLANNER & ENGINEER
JUNE 6, 2023	REVISIONS PER PLANNER & ENGINEER

PLOT PLAN
FOR
92 HALLEY DRIVE
19.17-1-36
HALLEY DRIVE
LOCATED IN THE
VILLAGE OF POMONA
TOWN OF HAVERSTRAW
ROCKLAND COUNTY, NEW YORK

PAUL GDANSKI, P.E., PLLC
653 WOODMONT LANE
SLOATSBURG, NY 10974
TEL: (917) 418-0999
EMAIL: PGSKI@EARTHLINK.NET

FILE: HALLEY
DATE: FEB 10, 2024
SCALE: 1" = 20'
SHEET: 1 OF 4



LEGEND

EXISTING PROPERTY LINE

SILT FENCE

ELECTRIC

WATER

UTILITY POLE

SEWER MANHOLE

SEWER MAIN

SANITARY CLEANOUT

DRAINAGE PIPE

INLET PROTECTION

STABILIZED CONSTRUCTION ENTRANCE

TREE TO BE REMOVED

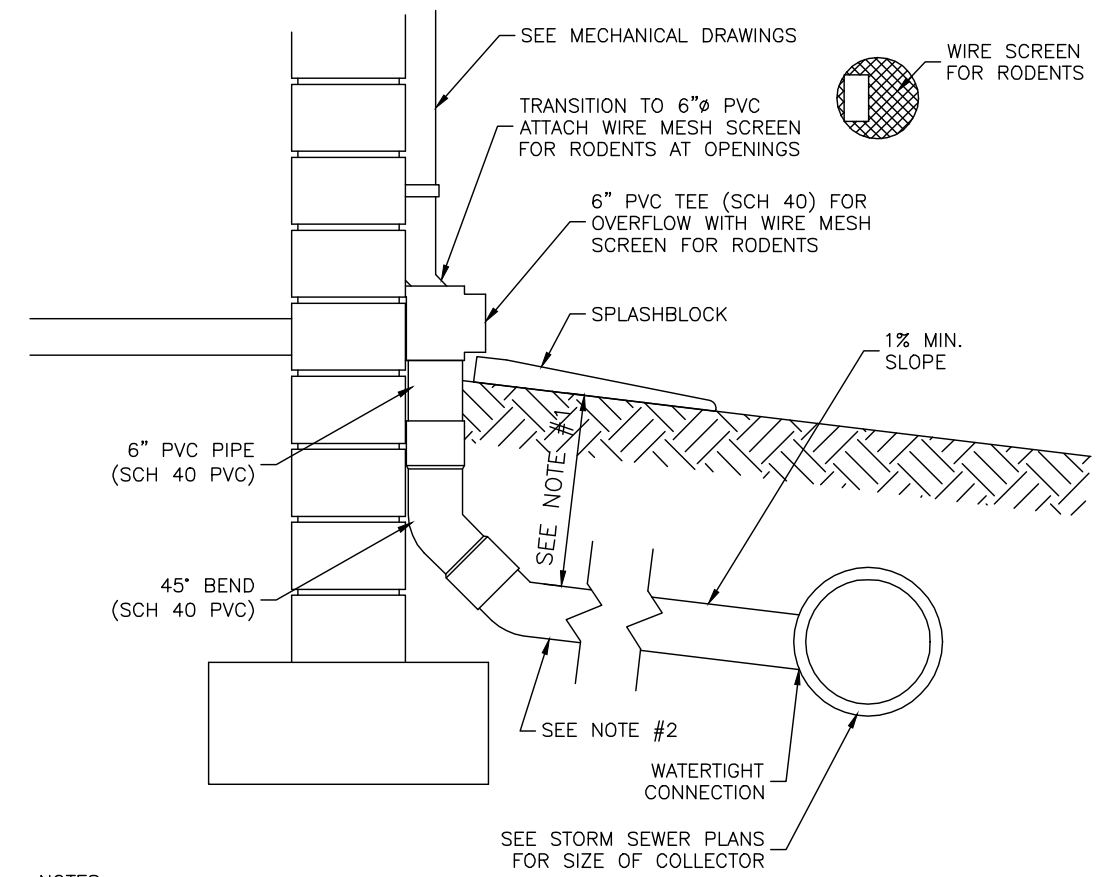
PROPOSED STREET LIGHT

DRIVEWAY

WOOD DECK

PLANTING SCHEDULE

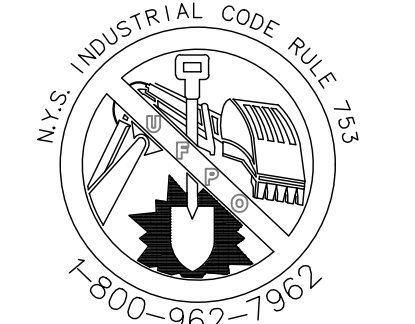
SYMBOL	QTY.	COMMON/BOTANICAL	SIZE
Vp	12	PRAGUE VIBURNUM/VIBURNUM X PRAGENSE	4'
Ns	13	NORWAY SPRUCE/PICEA ABIES	8'
Pg	2	DWARF SPRUCE/PICEA GLAUCA	3'
Bs	9	BOXWOOD/BOXUS SEMPERVIRENS	3 gal



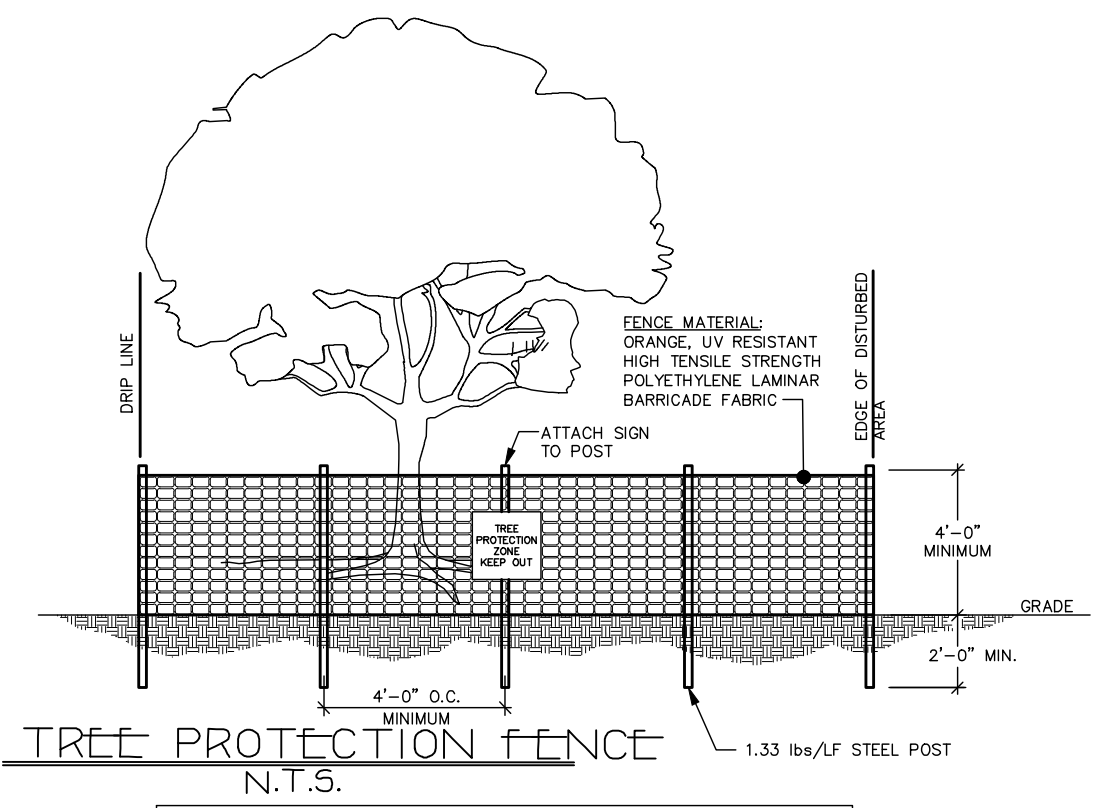
NOTES:

- FOR ALL DEPTHS OF COVER LESS THAN TWO (2) FEET, PIPE MUST BE SCHEDULE 40 PVC. FOR DEPTHS OF COVER GREATER THEN (2) FEET, CORRUGATED PLASTIC PIPE MAY BE USED. REFER TO SPECIFICATION.
- A WATERTIGHT CONNECTION SHALL BE MAINTAINED WITH ANY TRANSITION FROM SCHEDULE 40 PVC PIPE TO ANY OTHER PIPE TYPE.
- THE DOWNSPOUT COLLECTOR DRAIN SHALL BE INSTALLED BEFORE THE DOWNSPOUTS ARE INSTALLED ON THE BUILDING. SITE WORK CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK TO AND INCLUDING THE RODENT SCREEN. BUILDING CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONNECTION AT THE POINT OF THE RODENT SCREEN.

DOWNSPOUT CONNECTION

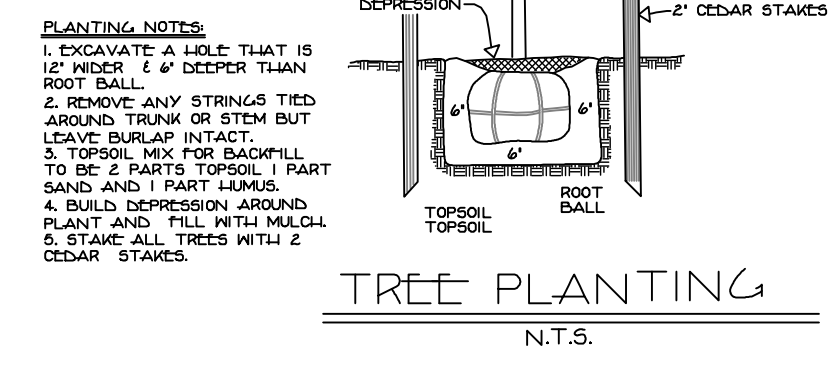


UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND UTILITIES MARKING ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE, AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.



NOTES:

- ALL PLANTS DESIGNATED TO BE SAVED SHALL BE PROTECTED BY FENCING, AS ILLUSTRATED.
- INSTALL TREE PROTECTION FENCE AT TREE DRIP LINE OR AT EDGE OF DISTURBED AREA, AS SHOWN ON PLANS, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- SPACE TREE PROTECTION ZONE SIGNS A MINIMUM OF ONE EVERY 300 FEET. THE SIZE OF EACH SIGN MUST BE A MINIMUM OF 2' X 2' AND BE VISIBLE FROM BOTH SIDES OF THE FENCE. THE SIGN MUST CONTAIN THE FOLLOWING LANGUAGE IN BOTH ENGLISH & SPANISH: "TREE PROTECTION ZONE, KEEP OUT."
- TREE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.



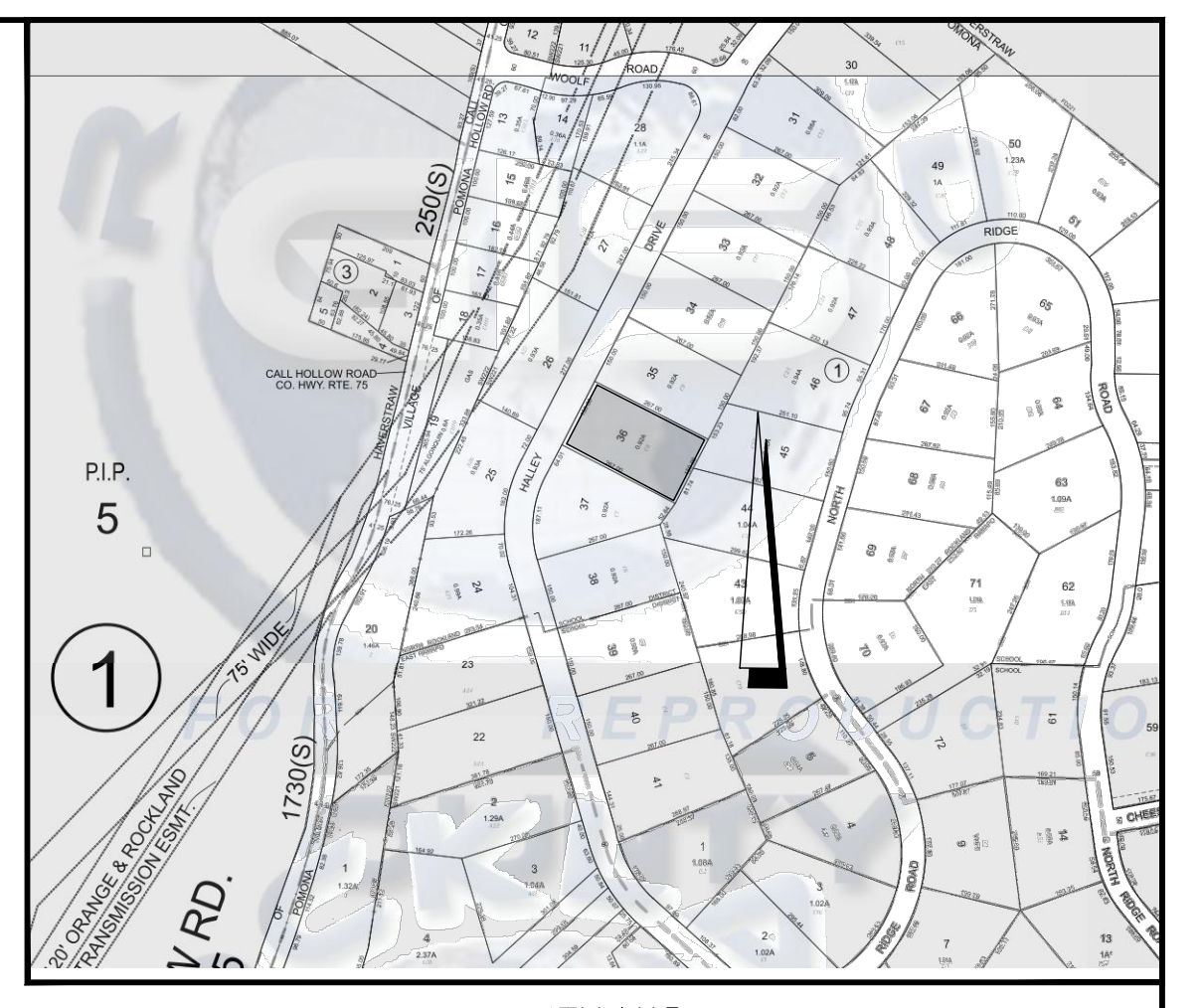
PLANTING NOTES:

- EXCAVATE A HOLE THAT IS 12" DEEPER THAN THE ROOT BALL.
- REMOVE ANY STRINGS TIED AROUND TRUNK OR STEM BUT LEAVE BURLAP INTACT.
- TOPSOIL MIX FOR BACKFILL TO BE 2 PARTS TOPSOIL, 1 PART SAND, AND 1 PART HUMUS.
- BUILD DEPRESSION AROUND PLANT AND FILL WITH MULCH.
- STAKE ALL TREES WITH 2 CEDAR STAKES.

TREE PLANTING



SHRUB PLANTING



- PLANTING NOTES:**
- ALL PLANTS SHALL BE NURSERY GROWN AND PLANTS AND WORKMANSHIP SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK", ANSI-Z 60.1-2004, AMERICAN NURSERY & LANDSCAPE ASSOCIATION, LATEST EDITION, AND SHALL BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE AND AFTER PLANTING.
 - ALL PLANTING SHALL BE PLACED UNDER THE DIRECTION OF THE LANDSCAPE ARCHITECT. GIVE 48 HOURS NOTICE TO LANDSCAPE ARCHITECT BEFORE PLANTING. THE CONTRACTOR IS RESPONSIBLE TO PLANT THE TOTAL QUANTITIES OF ALL PLANTS SHOWN GRAPHICALLY ON THE PLANTING PLAN. ANY QUESTIONS RELATING TO PLANT PLACEMENT MUST BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
 - GUARANTEE ALL PLANTS AND WORKMANSHIP FOR A PERIOD OF TWO YEARS. REPLACE, IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS, ALL PLANTS THAT ARE MISSING, MORE THAN 25% DEAD, WHICH DO NOT DEVELOP FROM PLANTING STOCK, THAT APPEAR UNHEALTHY OR UNSIGHTLY AND/OR HAVE LOST THEIR NATURAL SHAPE DUE TO DEAD BRANCHES. ANY TREE THAT LOSES THE MAIN LEADER SHALL BE REPLACED. PLANT MATERIAL SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECT UPON COMPLETION OF WORK AND DURING EVERY GROWING SEASON FOR TWO YEARS. PLANTS THAT NEED REPLACEMENT SHALL BE NOTED ON AN INSPECTION REPORT OR WITHIN TWO MONTHS FROM THE NEXT FOLLOWING GROWING SEASON. SHRUBS AND TREES SHALL BE PERMITTED TO GROW IN A NATURAL MANNER AND SHALL NOT BE PRUNED AS "MEATBALLS". HEDGES SHALL BE PRUNED AS A CONTINUOUS HEDGE AND MAINTAINED AS SUCH. THE SITE LANDSCAPE INSTALLATION SHALL BE THE SUBJECT OF A COMPREHENSIVE SITE LANDSCAPE MAINTENANCE PLAN. PROVIDE THE VILLAGE OF WEST HAVERSTRAW BUILDING INSPECTOR WITH A WRITTEN GUARANTEE FOR THE ONE YEAR PLANTING GUARANTEE.
 - PLACE 4" OF TOPSOIL ON ALL NEW LAWN AREAS AND ALL AREAS DISTURBED BY SITE GRADING AND NOT PAVED OR BUILT UPON. TOPSOIL SHALL BE NATURAL TOPSOIL WITHOUT ADMIXTURE OF SUBSOIL MATERIAL AND SHALL BE CLASSIFIABLE AS A LOAM, SILT LOAM, CLAY LOAM OR A COMBINATION THEREOF. TOPSOIL SHALL CONTAIN NOT LESS THAN 5% OR MORE THAN 20% BY WEIGHT OF ORGANIC MATTER AS DETERMINED BY LOSS ON IGNITION OF OVEN DRIED SAMPLES. TOPSOIL SHALL NOT HAVE MATERIALS LARGER THAN 1/2" INCH IN DIAMETER STONES, FOREIGN MATERIALS, ETC.
 - PLANT PITS SHALL BE 3 TIMES ROOT BALL DIAMETER FOR TREES AND 2 TIMES ROOT BALL DIAMETER FOR SHRUBS AND SET ROOT BALL ON UNDISTURBED SOIL. SET PLANTS AT SAME LEVEL AS ORIGINALLY GROWN ON BASE OF UNDISTURBED SOIL. SET PLANTS AT SAME LEVEL AS ORIGINALLY GROWN ON BASE OF UNDISTURBED SOIL. THE TRUNK FLARE AND ROOT COLLAR SHALL BE VISIBLE AT THE TOP OF THE PLANT BED AT THE TIME OF FINAL INSPECTION. REMOVE ALL EXISTING SOIL FROM PLANT PIT AND BACKFILL WITH A MIXTURE OF ONE PART PEAT HUMUS, ONE PART DEHYDRATED COW MANURE, AND FOUR PARTS TOPSOIL, OR OTHER APPROVED PLANTING MIX. FERTILIZE ALL PLANTS WITH 2 TO 3 OZ. PER FOOT OF SHRUB HEIGHT AND 2 TO 3 LBS. PER INCH OF TREE TRUNK OF 5-10-5 FERTILIZER. FOR EVERGREEN PLANTING, ADD 1 LB. PER 100 SQUARE FEET OF PLANT BED EACH OF AMMONIUM SULFATE AND SUPERPHOSPHATE. ADDITIONAL CRUSHED STONE OR GRAVEL SHALL BE PLACED IN OVER EXCAVATED TREE PITS IF THE NATURAL DRAINAGE IS UNSUITABLE FOR PROPER DRAINAGE FROM TREE PITS.
 - FERTILIZE AREAS BEFORE SEEDING OR SODDING WITH 15 LBS. PER 1000 SQUARE FEET OF 10-20-10 FERTILIZER OR APPROVED EQUIVALENT. REPEAT AFTER 8 WEEKS.
 - MULCH ALL PLANTS AND PLANTED AREAS WITH A 3" DEPTH OF SHREDDED PINE OAK BARK OR OTHER SHREDDED BARK. DO NOT PLACE MULCH AGAINST TREE OR SHRUB TRUNK. THE TRUNK FLARE AND ROOT COLLAR SHALL BE VISIBLE AT THE TOP OF THE PLANT BED WITH NO MULCH AGAINST TRUNK. DO NOT CREATE MOUND OF MULCH AROUND TREE. FINISH GRADE TO BE SAME AS ORIGINALLY GROWN. LAWN AREAS SHALL BE SEED AT 5 LBS. PER 1000 SQUARE FEET WITH THE FOLLOWING SEED MIXTURE: 20% JAMESTOWN II CHEWINGS FESCUE, 60% BARON KENTUCKY BLUEGRASS, AND 20% PALMER II PERENNIAL RYE, OR APPROVED EQUIVALENT. MULCH NEWLY SEEDDED LAWN AT 90 LBS. PER 1000 SQUARE FEET WITH HAY OR STRAW MULCH.
 - EXISTING TREES SHOWN ON THIS PLAN ARE TO REMAIN UNDISTURBED. ALL EXISTING TREES SHOWN TO REMAIN ARE TO BE PROTECTED WITH A 4-FOOT HIGH SNOW FENCE PLACED AT THE DRIP LINE OF THE BRANCHES OR AT 8 FEET MINIMUM FROM THE TREE TRUNK. ANY EXISTING TREE SHOWN TO REMAIN THAT IS DAMAGED DUE TO SITE CONSTRUCTION ACTIVITIES AND REMOVED OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY NEW SHADE TREES TO TOTAL AREA OF EXISTING TREE DAMAGED OR REMOVED. NUMBER AND SPECIES OF REPLACEMENT TREES TO BE AS APPROVED BY THE VILLAGE OF WEST HAVERSTRAW.
 - PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, AN AS-BUILT LANDSCAPING DRAWING SHALL BE SUBMITTED WHICH IS CERTIFIED BY A LANDSCAPE ARCHITECT LICENSED TO PRACTICE IN THE STATE OF NEW YORK. SAID LANDSCAPING DRAWING SHALL INDICATE THE DEGREE OF COMPLETION OF SAID LANDSCAPING IMPROVEMENTS IN ACCORDANCE WITH THE APPROVED SITE PLAN.

DATE	REVISIONS
DEC 18, 2023	REVISIONS PER PLANNER & ENGINEER
OCT 16, 2023	REVISIONS PER PLANNER & ENGINEER
SEP 18, 2023	REVISIONS PER PLANNER & ENGINEER
JUNE 6, 2023	REVISIONS PER PLANNER & ENGINEER

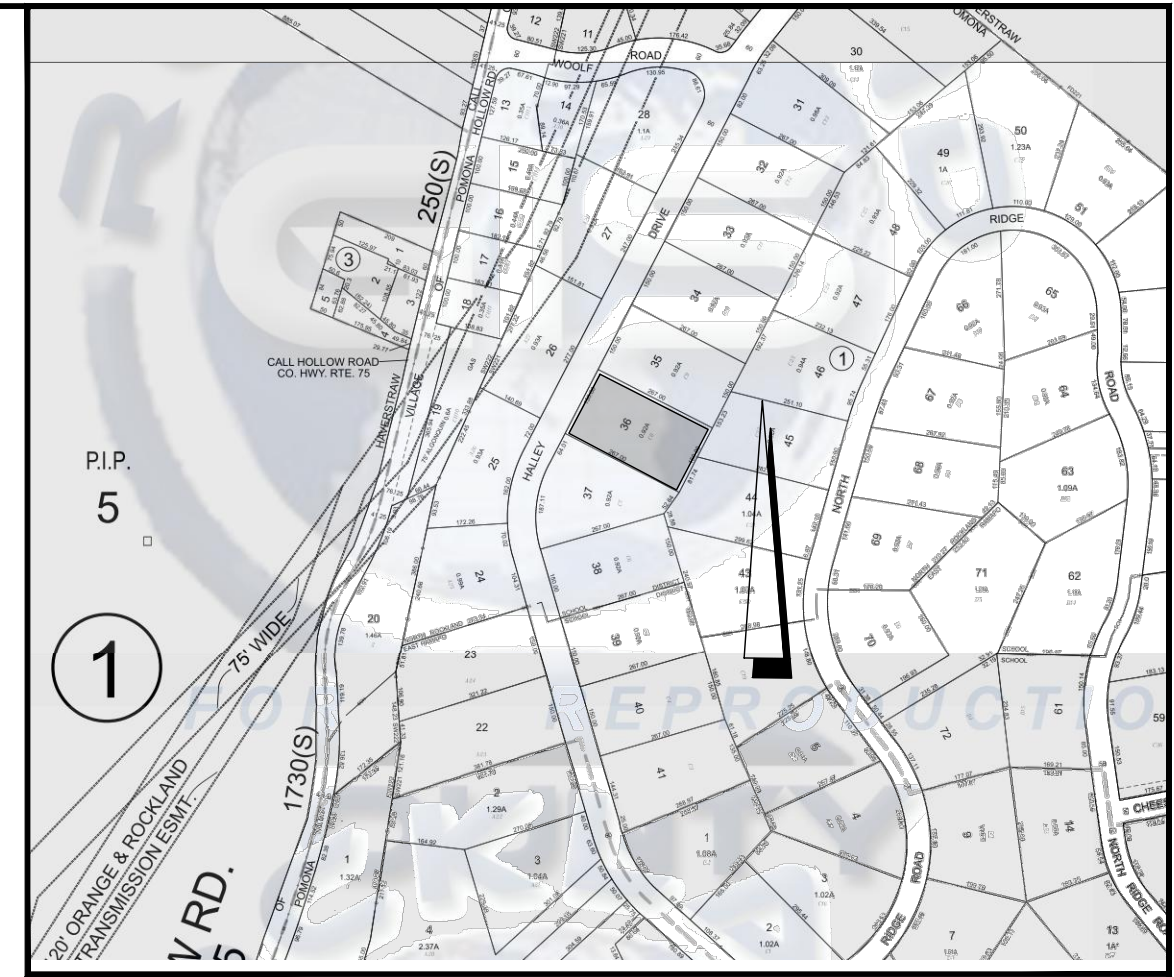
LANDSCAPING & EROSION CONTROL
FOR
92 HALLEY DRIVE
19.17-1-36
HALLEY DRIVE
LOCATED IN THE
VILLAGE OF POMONA
TOWN OF HAVERSTRAW
ROCKLAND COUNTY, NEW YORK

PAUL GDANSKI P.E., PLLC
653 WOODMONT LANE
SLOATSBURG, NY 10974
TEL: (917) 418-0999
EMAIL: PGSKI@EARTHINK.NET

PAUL GDANSKI, P.E., LICENSE NO. 1500-962-7962

EX. TREE TO BE REMOVED

NOTE: ALL DISTURBED AREAS TO BE TOPSOILED & SEEDDED.



VICINITY MAP
SCALE: 1"=400'



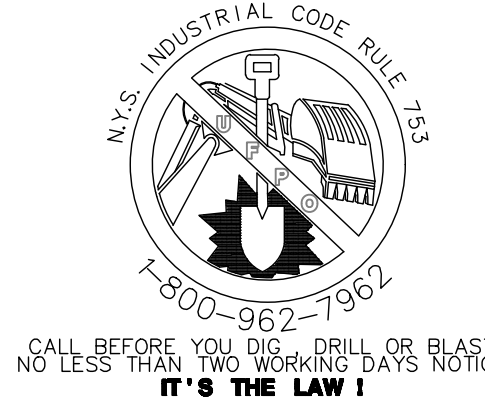
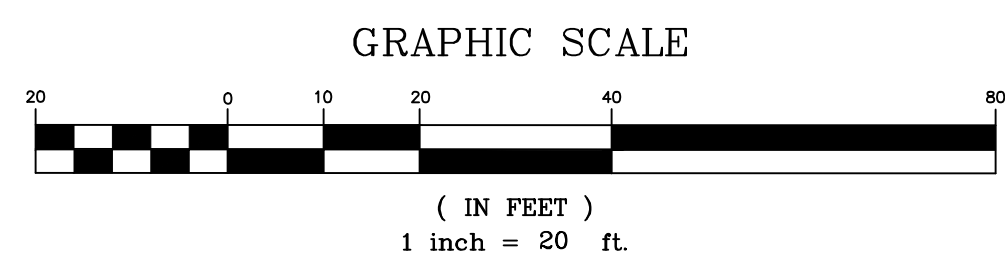
DISTURBED AREA
SLOPE TABLE

Slopes Table			
Minimum Slope	Maximum Slope	SF	Pattern
0.00%	14.99%	1,400	
15.00%	24.99%	3,500	
25.00%	34.99%	13,000	
35.00%	100.00%	7,300	

SLOPE CALCULATION AREA OF DIST.:

- EXTREMELY STEEP AREA = 2.0 X 7,300 SF = 14,600 SF
- VERY STEEP AREA = 1.5 X 13,000 SF = 19,500 SF
- MODERATELY STEEP SLOPE = 1.0 X 3,500 = 3,500 SF
- TOTAL = 37,600 SF = 0.86 ACRE

THEREFORE, PLANNING BOARD APPROVAL REQUIRED



UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE, AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.

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PAUL GDANSKI, P.E. PROFESSIONAL ENGINEER
1917244

DATE	REVISIONS
DEC 18, 2023	REVISIONS PER PLANNER & ENGINEER
OCT 16, 2023	REVISIONS PER PLANNER & ENGINEER
SEP 18, 2023	REVISIONS PER PLANNER & ENGINEER
JUNE 6, 2023	REVISIONS PER PLANNER & ENGINEER

STEEP SLOPE PLAN
FOR
92 HALLEY DRIVE
19.17-1-36
HALLEY DRIVE
LOCATED IN THE
VILLAGE OF POMONA
TOWN OF HAVERSTRAW
ROCKLAND COUNTY, NEW YORK

PAUL GDANSKI P.E., PLLC
633 WOODMONT LANE
SLOATSBURG, NY 10974
TEL: (917) 418-0999
EMAIL: PGSKI@EARTHLINK.NET

FILE: HALLEY
DATE: FEB 10, 2024
SCALE: 1" = 20'
SHEET: 3 OF 4

Drainage Calculations:
 Infiltration Rate = 1":30 min
 Use drywell, surrounded by 3 feet of stone (rectangular envelope as shown on plan).

Volume within drywell (V_w):
 $D_o = 6 \text{ ft}$ $D_i = 7 \text{ ft}$ $d = 6 \text{ ft}$ $V_w = \pi * D_o^2/4 * 6 \text{ ft} = 169.65 \text{ ft}^3$
 $V_o = 169.6 \text{ ft}^3$

Volume within stone:
 $V = \text{rectangular envelope} - \text{drywell space} =$
 $\text{Drywell space} = \pi * D_o^2/4 * 6 \text{ ft} = 230.91 \text{ ft}^3$
 $\text{Rectangular stone envelope} = \text{Length} \times \text{width} \times \text{height} = 13 \text{ ft} \times 13 \text{ ft} \times 7 \text{ ft} = 1,183 \text{ ft}^3$
 $V = 1,183 \text{ ft}^3 - 230.9 \text{ ft}^3 = 952.1 \text{ ft}^3$
 $\text{Void Coefficient} = 0.4$
 $V_{st} = 380.8 \text{ ft}^3$

Soil Infiltration Calculations:
 Area of Percolation (A_p):
 $d = 1 \text{ ft}, r = 0.5 \text{ ft}$
 $\text{Surface Area of Cylinder (A}_c) = \pi \times d \times h_{\text{avg}} = 3.14159 \times 1 \text{ ft} \times 8.5 \text{ in}/12 \text{ in/ft} = 2.23 \text{ ft}^2$
 $\text{Bottom Area} = A_b = \pi \times r^2 = 0.785 \text{ ft}^2$
 $A_p = A_c + A_b = 2.23 + 0.785 = 3.01 \text{ ft}^2$

Volume of Percolation (V_p):
 $V_p = A_p \times h = 0.785 \times 1 \text{ in}/12 \text{ in/ft} = 0.0654 \text{ ft}^3$
 $\text{Soil Percolation Rate} = S_p = V_p/\text{area}/\text{time}$
 $\text{Field Infiltration} = 1":30 \text{ min}$
 $S_p = 0.0654 \text{ ft}^3 / 3.01 \text{ ft}^2 / 30 \text{ min}$
 $S_p = .00072 \text{ ft}^3/\text{ft}^2/\text{min} = .00072 \text{ ft}^3/\text{min} \times 60 \text{ min/hr} \times 24 \text{ hr/day} = 1.04 \text{ ft}^3/\text{ft}^2/\text{day}$
 Use Clogging Factor of 25%
 $25\% \times 1.04 = 0.26 \text{ ft}^3/\text{ft}^2/\text{day}$
 $S_p = 1.04 - 0.26 = 0.78 \text{ ft}^3/\text{ft}^2/\text{day}$
 $V_p = S_p \times \text{Surface Area} = 169 \text{ ft}^2 \times 0.78 \text{ ft}^3/\text{ft}^2/\text{day}$
 $V_p = 131.8 \text{ ft}^3/\text{day}$ per drywell

Overall 24 hour volume per drywell (V_d):
 $V_d = V_w + V_{st} + V_p = 169.6 + 380.8 + 131.8 = 682.2 \text{ ft}^3$

Required Storage Calculations:
 Soils - (CoD) Chatfield-Rock Outcrop Complex "B"

Lot 1:
 Drainage Area = DA = 25,200 ft²
Drywell Area:
 Undeveloped CN: Impervious Surface = 0 ft² @ CN of 98
 Fair Woods = 25,200 ft² @ CN of 60
 Weighted CN = 60

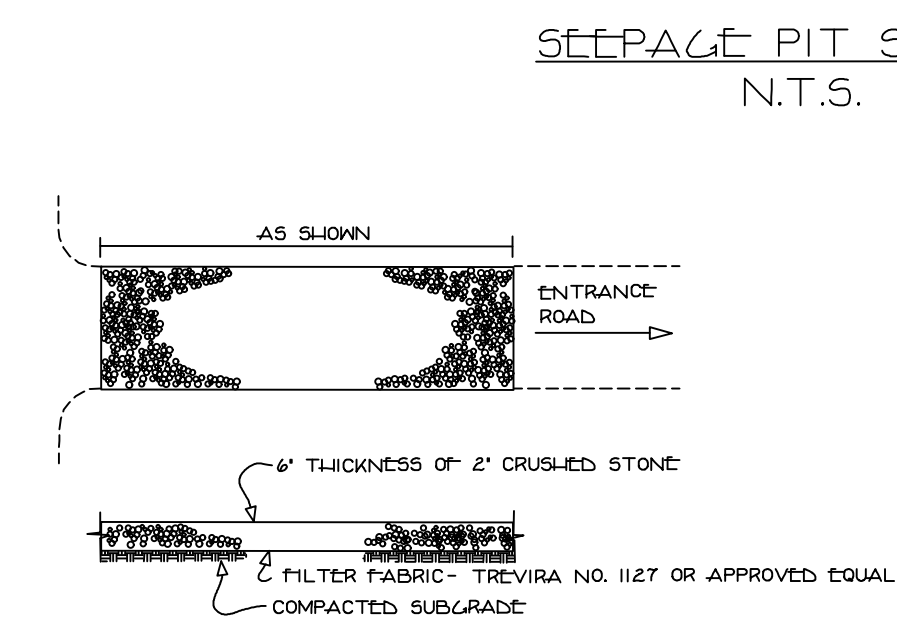
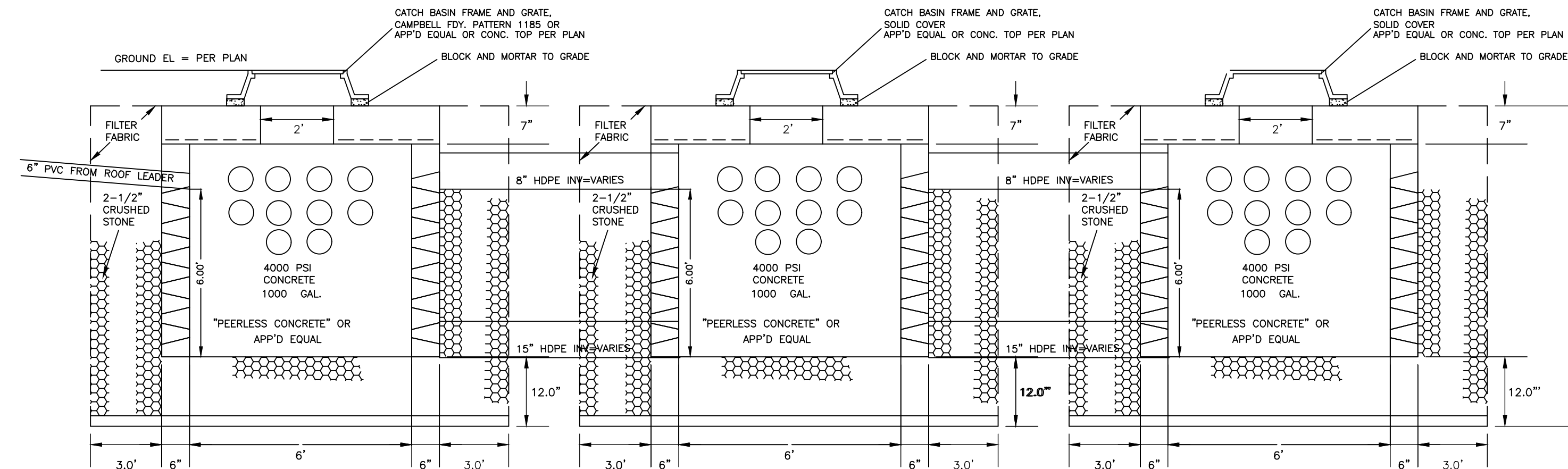
Developed CN: Impervious Surface = 5,786 ft² @ CN of 98
 Good Grass = 19,414 ft² @ CN of 61
 Weighted CN = 70

100-year rainfall = 9.07 inches
 From Table 2-1 of TR-55:
 Initial Runoff = Q_i = 4.156 inches
 Proposed Runoff = Q_p = 5.392 inches
 $Q = 5.392 \text{ in} - 4.156 \text{ in} = 1.236 \text{ inches}$

Storage Required = V_s = 1.236 in x (1 ft/12 in) x 25,200 ft² = 2,595.6 ft³
 Drywells Required = V_d / V_s = 2,595.6 ft³ / 682.2 ft³ = 3.82 drywells

Therefore, provide four (4) drywell, 6 ft inner diameter, 6 ft deep

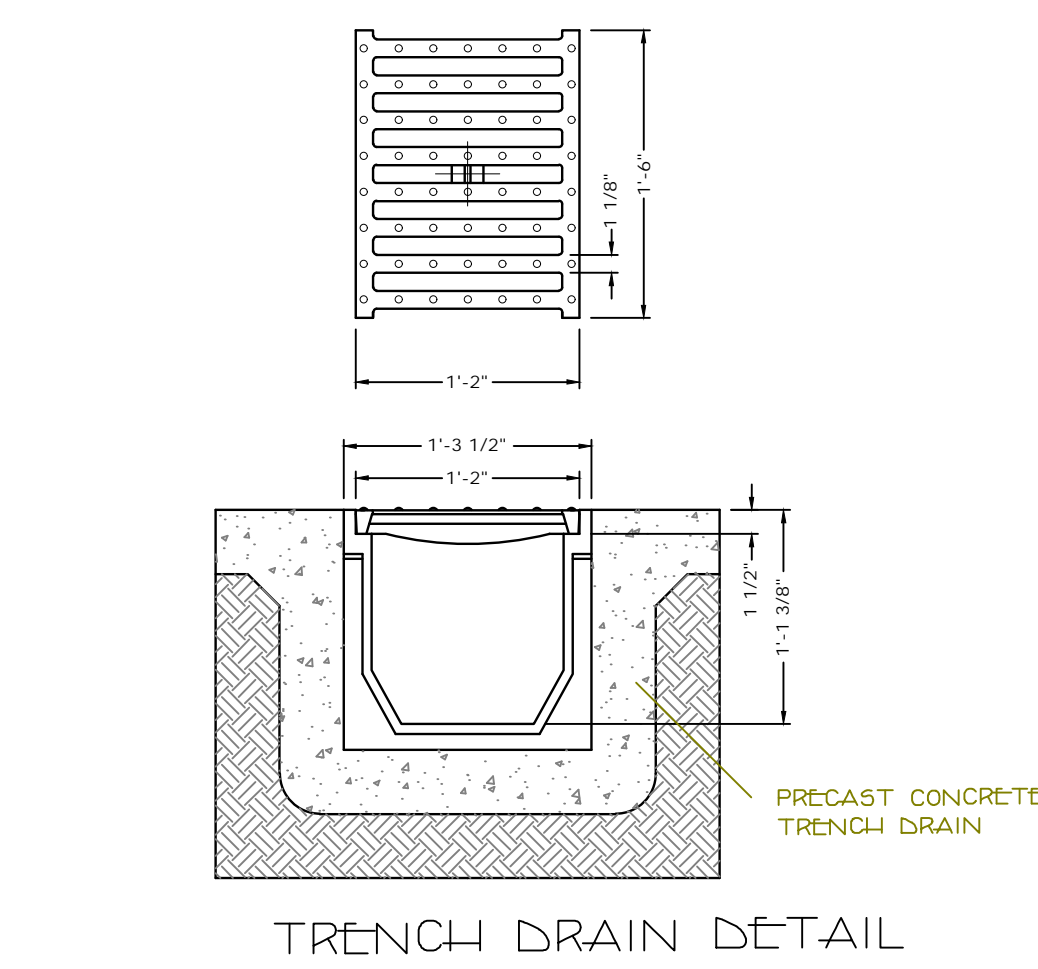
Required Storage Volume Summary:
 2,595.6 ft³ required, 2,720.8 ft³ provided



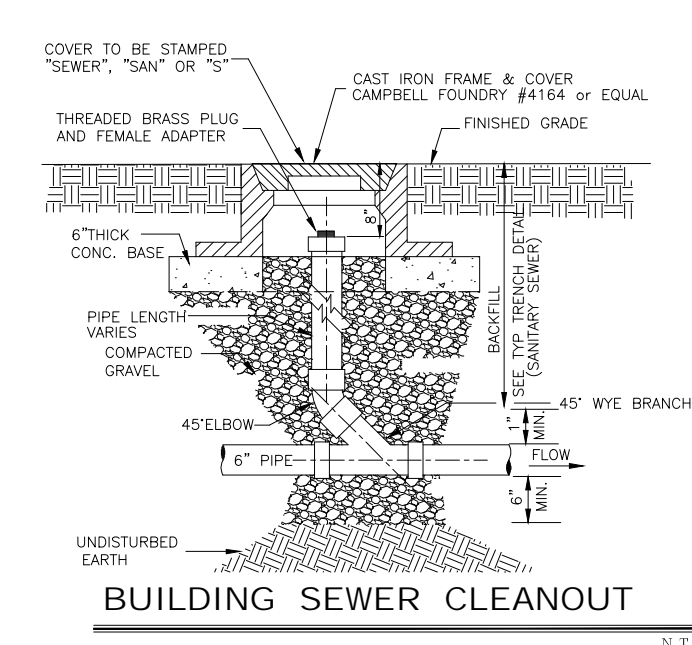
STABILIZED CONSTRUCTION ENTRANCE
 N.T.S.

- CONSTRUCTION SPECIFICATIONS:**
- STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
 - LENGTH - NOT LESS THAN 50 FEET.
 - THICKNESS - NOT LESS THAN SIX (6) INCHES.
 - WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
 - GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
 - SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
 - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
 - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

- NOTES:**
- SET PIT STONE ENVELOPE PER PLAN. BACKFILL WITH ALL CLEAN STONE.
 - DESIGN ENGINEER OR TESTING COMP. SHALL BE RESPONSIBLE FOR DETERMINING SEASONAL HIGH WATER TABLE. NO SEEPAGE PITS AND/OR STONE SHALL BE SET BELOW SEASONAL HIGH WATER AND DESIGN ENGINEER MUST BE CONTACTED IN WRITING SHOULD WATER BE ENCOUNTERED.
 - EACH DRYWELL CLUSTER SHALL HAVE ONLY ONE OPEN GRATE.
 - ALL ROOF LEADERS TO BE 4" DIA. AND CONNECTED TO DRYWELL SYSTEM.
 - ALL DECKS TO BE CONNECTED TO DRYWELL SYSTEM VIA TREX RAIN ESCAPE DRAINAGE SYSTEM.
- SEEPAGE PIT MAINTENANCE NOTES:**
- SEEPAGE PITS SHALL BE MAINTAINED BY THE OWNERS OF THE LOTS ON WHICH THEY ARE SITUATED.
 - SAID OWNERS SHALL INSPECT SEEPAGE PITS ON A TWICE YEARLY BASIS AND REMOVE ANY ACCUMULATED SEDIMENT (OR AFTER ANY SIGNIFICANT STORM).
 - IF EVIDENCE FORTIFIES THAT THE SEEPAGE PITS ARE NOT FUNCTIONING PROPERLY (E. WATER BACKING-UP IN SYSTEM, ETC.), THE OWNERS SHALL INSPECT THE PITS AS SOON AS REASONABLY POSSIBLE AND MAKE NECESSARY REPAIRS TO ENSURE PROPER FUNCTION OF THE SYSTEM.



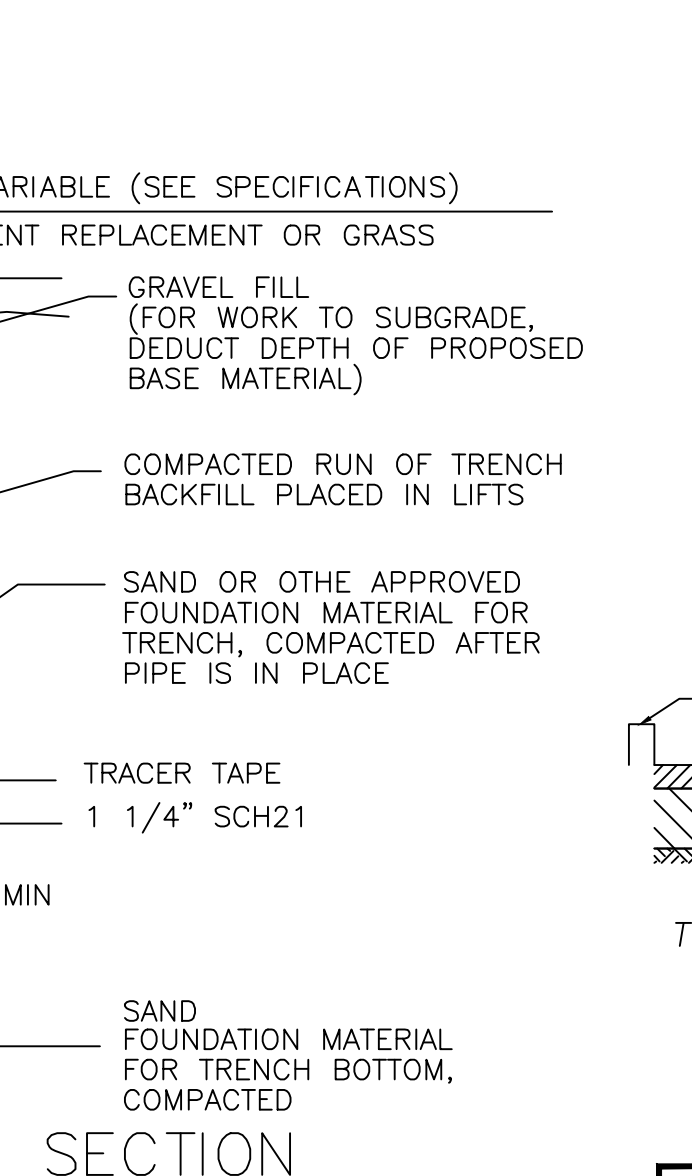
TRENCH DRAIN DETAIL
 N.T.S.



BUILDING SEWER CLEANOUT
 N.T.S.

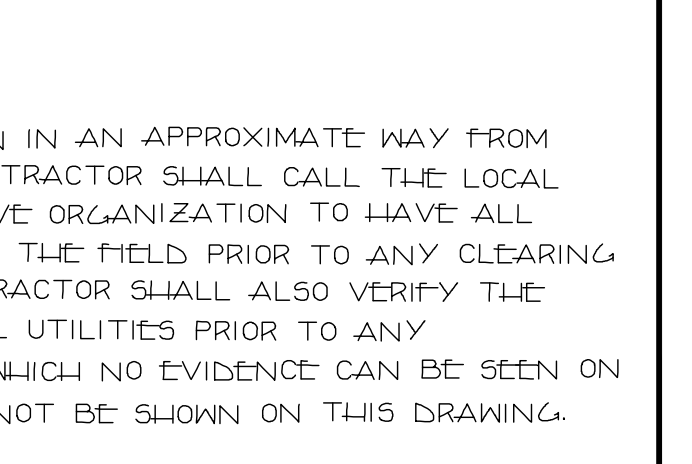
- NOTES:**
- EACH BUILDING SEWER SHALL HAVE A CLEANOUT INSTALLED APPROXIMATELY 2' DOWNSTREAM OF THE BUILDING PIPE TO BUILDING SEWER CONNECTION. THEREAFTER, CLEANOUTS SHALL BE INSTALLED ALONG THE BUILDING SEWER EVERY 100 FT. (MAX.) FOR THE PURPOSE OF CLEANOUT LOCATIONS DISTANCE SHALL BE MEASURED FROM THE FIRST CLEANOUT LOCATED DOWNSTREAM OF THE HOUSE PIPE TO BUILDING SEWER CONNECTION, HENCE DOWNSTREAM ALONG THE LINE.

POLYETHYLENE PIPE ADS-N12 PIPE TRENCH DETAIL
 N.T.S.



TYPICAL TRENCH SECTION
 N.T.S.

TYPICAL DRIVEWAY PAVEMENT DETAIL
 N.T.S.
 (PER ORANGETOWN SUBURBAN STREET SPECS)

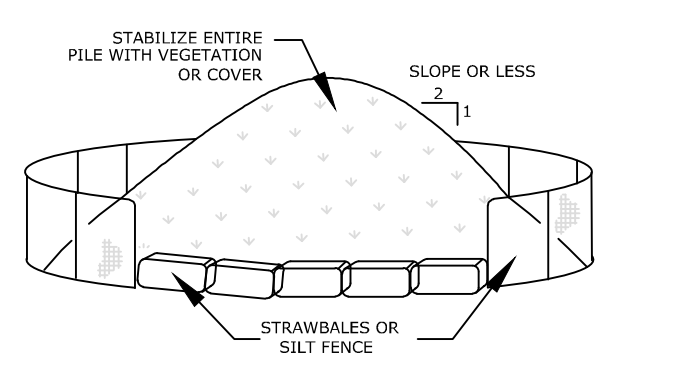


STANDARD EROSION CONTROL NOTES:

- TEMPORARY SEDIMENTATION ENTRAPMENT AREAS SHALL BE PROVIDED AT KEY LOCATIONS TO INTERCEPT AND CLARIFY SILT LADEN RUNOFF FROM THE SITE. THESE MAY BE EXCAVATED OR MAY BE CREATED UTILIZING EARTHEN BERMS, RIP-RAP OR CRUSHED STONE DAMS, HAY BALES, OR OTHER SUITABLE MATERIALS. DIVERSION SWALES, BERMS, OR OTHER CHANNELIZATION SHALL BE CONSTRUCTED TO ENSURE THAT ALL SILT LADEN WATERS ARE DIRECTED INTO THE ENTRAPMENT AREAS, WHICH SHALL NOT BE PERMITTED TO FILL IN, BUT SHALL BE CLEANED PERIODICALLY DURING THE COURSE OF CONSTRUCTION. THE COLLECTED SILT SHALL BE DEPOSITED IN AREAS SAFE FROM FURTHER EROSION.
- ALL DISTURBED AREAS, EXCEPT ROADWAYS, WHICH WILL REMAIN UNFINISHED FOR MORE THAN 14 DAYS SHALL BE TEMPORARILY SEEDED WITH 3 LB. OF RYE GRASS OR MULCHED WITH 100 LBS. OF STRAW OR HAY PER 1,000 SQUARE FEET AND TEMPORARY DIVERSION DITCHES ARE TO BE PLACED WHERE NECESSARY AS DETERMINED BY THE VILLAGE ENGINEER. ROADWAYS SHALL BE STABILIZED AS RAPIDLY AS PRACTICABLE BY THE INSTALLATION OF THE BASE COURSE.
- SILT THAT LEAVES THE SITE IN SPITE OF THE REQUIRED PRECAUTIONS SHALL BE COLLECTED AND REMOVED AS DIRECTED BY APPROPRIATE MUNICIPAL AUTHORITIES.

EROSION AND SEDIMENT CONTROL PLAN - MAINTENANCE PROCEDURE:

- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR SUITABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED AND INSTALLED FOR THEIR APPROPRIATE PHASE OF THE PROJECT.
- SEDIMENT WILL BE REMOVED FROM THE SEDIMENT TRAP AND BLOCK AND GRAVEL INLET PROTECTION DEVICE WHEN STORAGE CAPACITY HAS BEEN APPROXIMATELY 50% FILLED. GRAVEL WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS PROPERLY.
- SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES ABOUT 0.5 FT DEEP AT THE FENCE. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER.
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY OR STREETS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL AGGREGATE. ALL SEDIMENT SPILLED, DROPPED, OR WASHED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY WHEN NECESSARY. WHEELS MUST BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH AGGREGATE, WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING STORM DRAINS, DITCHES, OR WATERCOURSES.
- ALL SEEDS ARE TO BE FERTILIZED, AND RE-SEEDS AS NECESSARY.

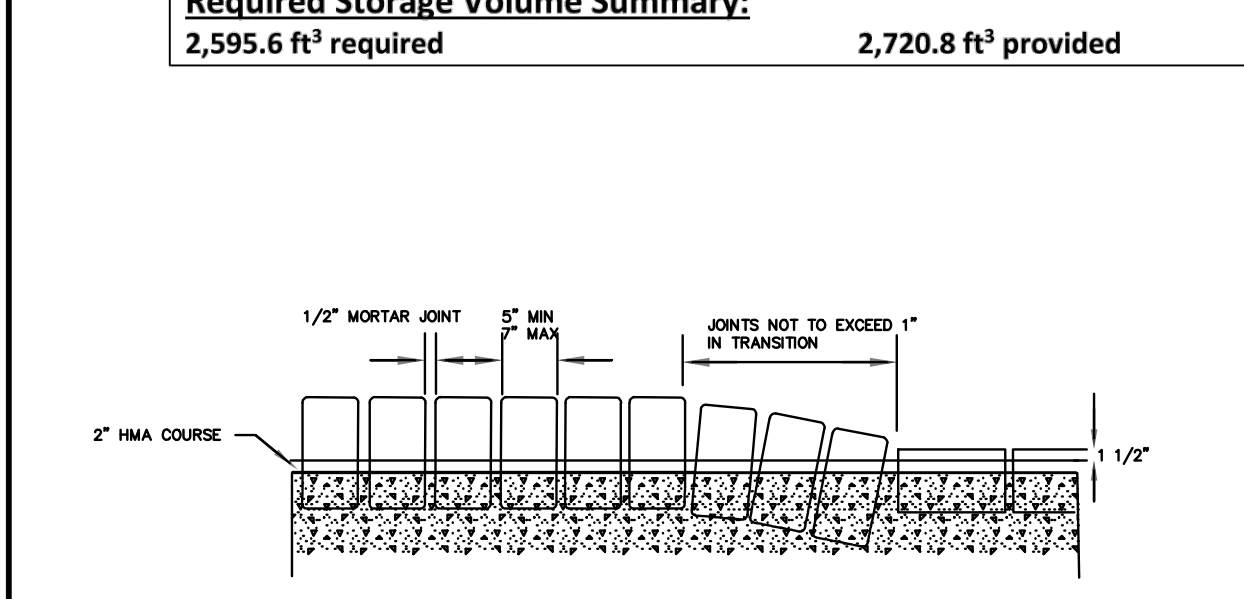


STOCK PILE CONTROL DETAIL
 N.T.S.

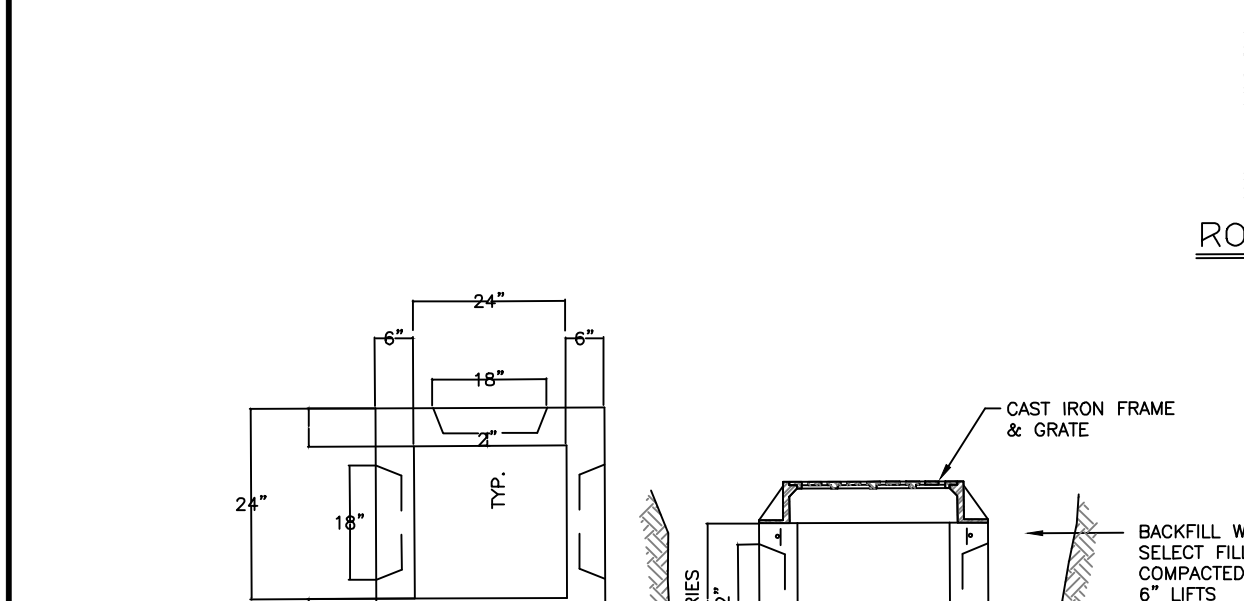
- INSTALLATION NOTES:**
- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY & STABLE.
 - MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
 - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED BY SILT FENCING OR STRAW BALES, THEN STABILIZED WITH VEGETATION OR COVER.
 - SEE SPECIFICATIONS (EROSION CONTROL) FOR INSTALL OF SILT FENCE.

STANDARD SIDEWALK DETAIL
 NOT TO SCALE

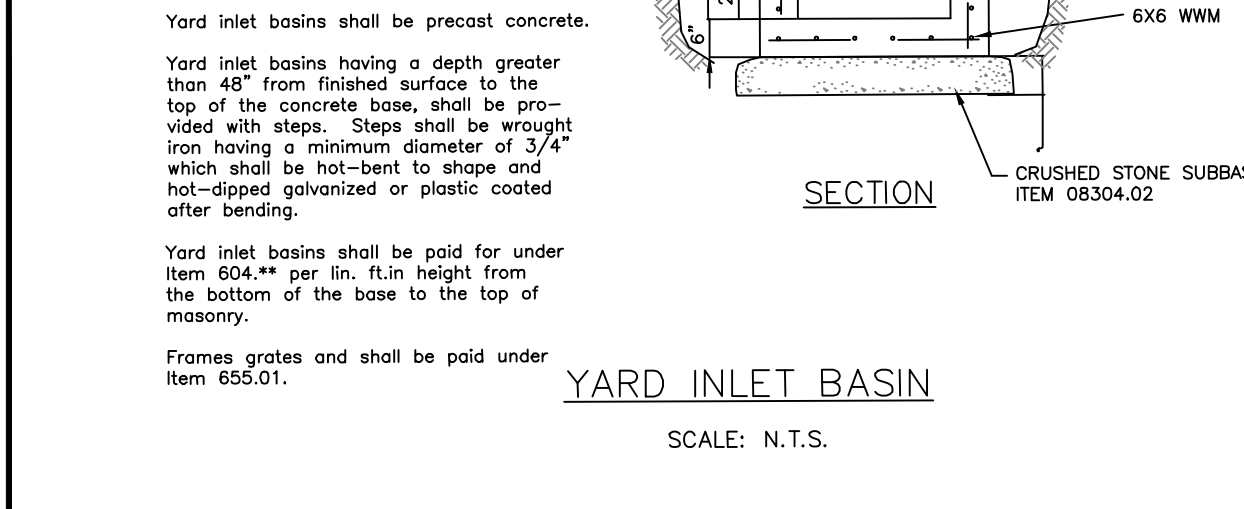
- NOTES:**
- EXPANSION JOINTS OF 3/4" CELLULOSE OR SIMILAR APPROVED MATERIAL SHALL BE PLACED AT 10' INTERVALS.
 - CONTRACTION JOINTS 1" DEEP HAVING 3/4" RADIUS EDGES SHALL BE PLACED AT 5'-0" INTERVALS IN SIDEWALK.
 - EDGES SHALL HAVE 1/2" RADIUS.
 - USE 3500 PSI CONCRETE.
 - BROOM FINISH TOP SURFACE.
 - CONCRETE TO BE FIBER REINFORCED.



DEPRESSED GRANITE BLOCK CURB DETAIL
 N.T.S.



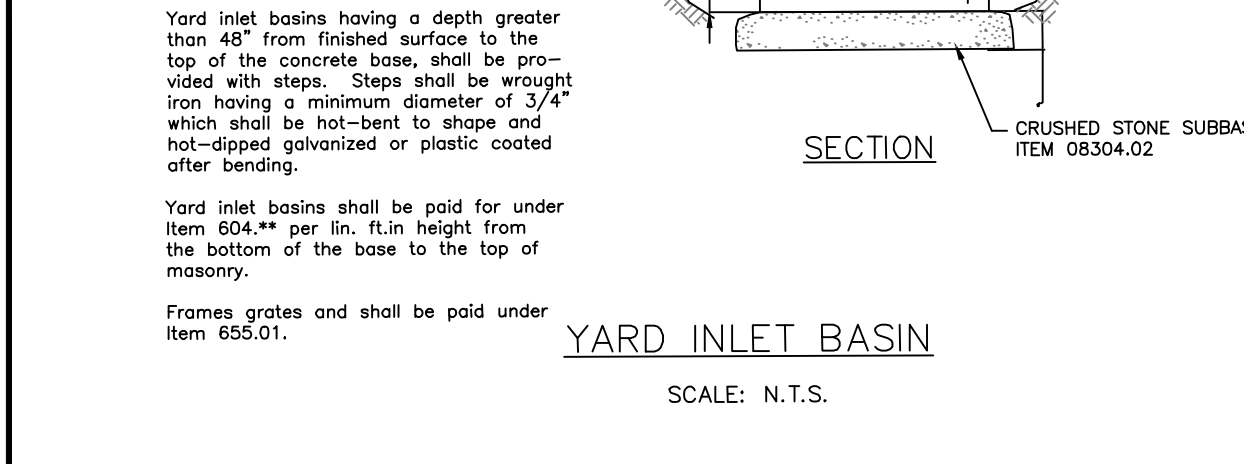
ROCK-FALL NETTING (MACCAFERRI)
 N.T.S.



YARD INLET BASIN
 SCALE: N.T.S.

- NOTES:**
- Yard inlet basins shall be precast concrete.
 - Yard inlet basins having a depth greater than 48" from finished surface to the top of the concrete base, shall be provided with steps. Steps shall be wrought iron having a minimum diameter of 3/4" which shall be hot-bent to shape and hot-dipped galvanized or plastic coated after bending.
 - Yard inlet basins shall be paid for under item 604.11 per lin. ft. in height from the bottom of the base to the top of masonry.
 - Frames grates and shall be paid under item 655.01.

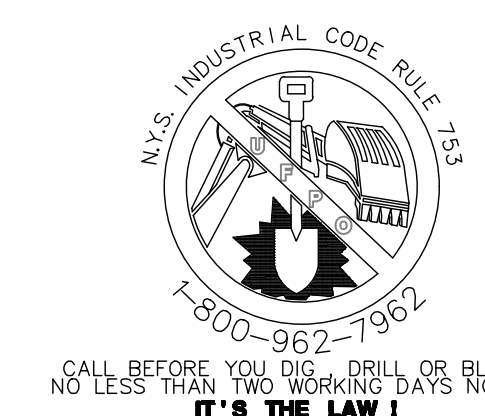
SILT FENCE
 N.T.S.



STANDARD DETAIL
 TRENCH WITH NATIVE BACKFILL

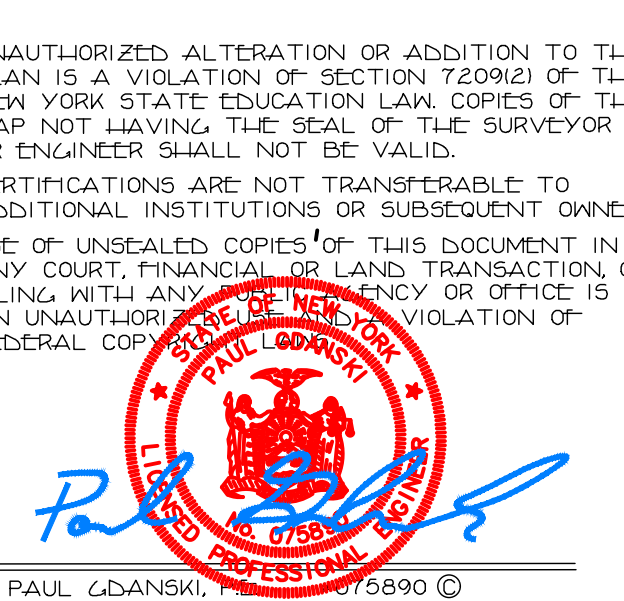
- INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
- REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
- SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

ALTERNATE DETAIL
 TRENCH WITH GRAVEL



CALL BEFORE YOU DIG, DRILL OR BLAST
 NO LESS THAN TWO BUSINESS DAYS NOTICE
IT'S THE LAW!

UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY FROM AVAILABLE INFORMATION. THE CONTRACTOR SHALL CALL THE LOCAL UNDERGROUND UTILITIES PROTECTIVE ORGANIZATION TO HAVE ALL UNDERGROUND UTILITIES MARKED IN THE FIELD PRIOR TO ANY CLEARING OR ANY CONSTRUCTION. THE CONTRACTOR SHALL ALSO VERIFY THE LOCATION, SIZE, AND INVERT OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. ANY UTILITY FOR WHICH NO EVIDENCE CAN BE SEEN ON THE SURFACE OF THE LANDS MAY NOT BE SHOWN ON THIS DRAWING.



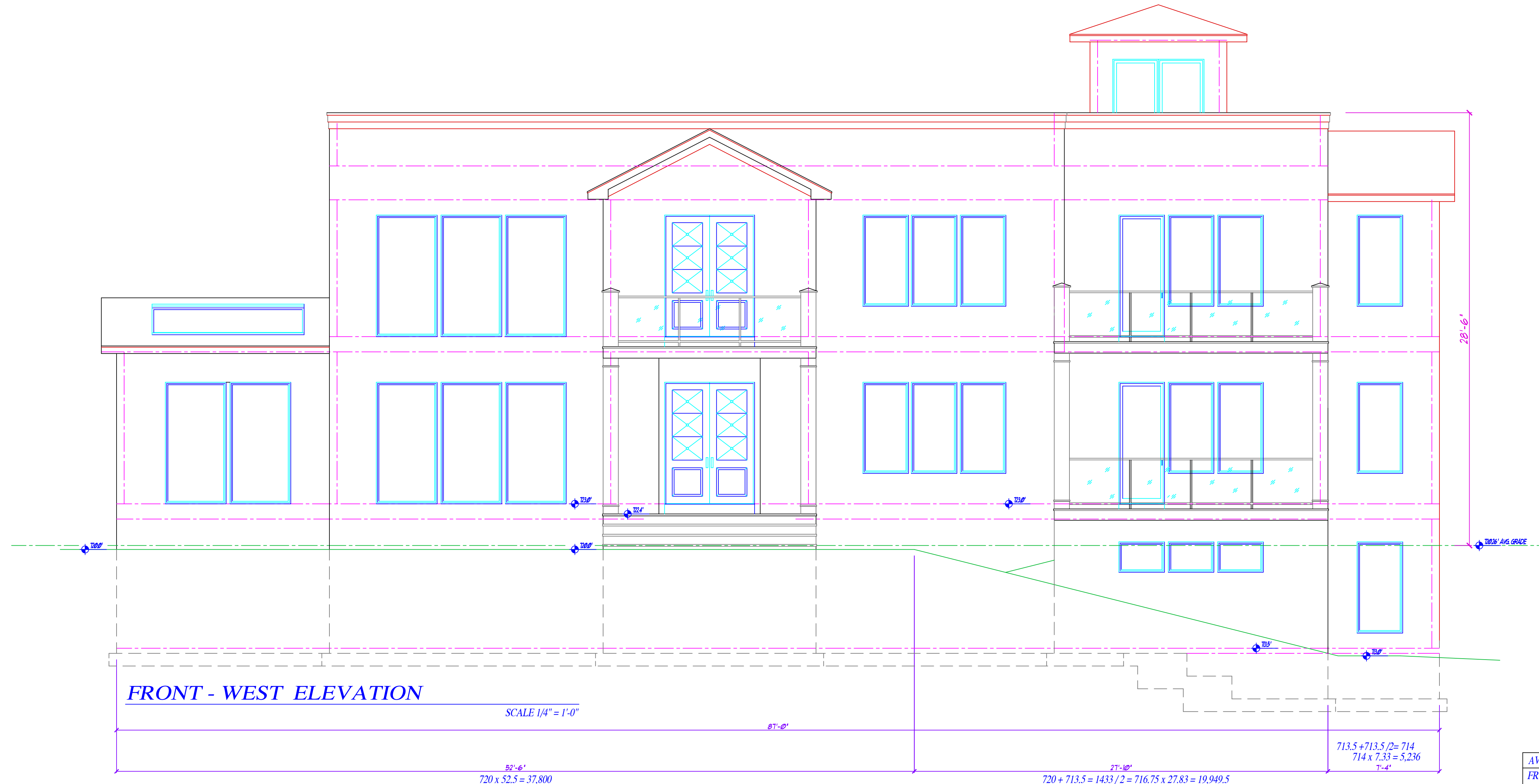
DATE	REVISIONS
DEC 18, 2023	REVISIONS PER PLANNER & ENGINEER
OCT 16, 2023	REVISIONS PER PLANNER & ENGINEER
SEP 18, 2023	REVISIONS PER PLANNER & ENGINEER
JUNE 6, 2023	REVISIONS PER PLANNER & ENGINEER

DETAILS FOR
 92 HALLEY DRIVE
 19.17-1-36
 HALLEY DRIVE
 LOCATED IN THE VILLAGE OF POMONA
 TOWN OF HAVERSTRAW
 ROCKLAND COUNTY, NEW YORK

PAUL GDANSKI P.E., PLLC
 633 WOODMONT LANE
 SLOATSBURG, NY 10974
 TEL: (917) 418-0999
 EMAIL: PGSKI@EARTHINK.NET

DATE: FEB 10, 2022
 SCALE: 1" = 20'
 SHEET: 4 OF 4

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FRONT - WEST ELEVATION

SCALE 1/4" = 1'-0"

720 x 52.5 = 37,800

720 + 713.5 = 1433 / 2 = 716.75 x 27.83 = 19,949.5

713.5 + 713.5 / 2 = 714
714 x 7.33 = 5,236
7'-4"

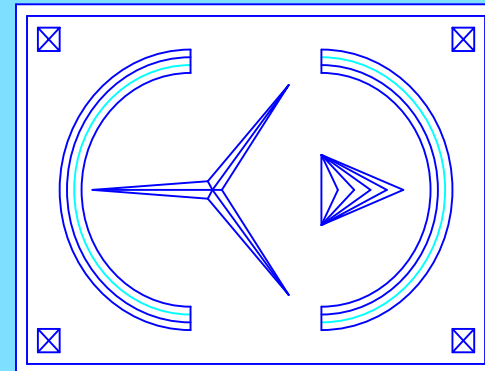
AVERAGE GRADING CALCULATION	
FRONT - WEST SIDE =	62,985.5
REAR - EAST SIDE =	62,819.8
LEFT - NORTH SIDE =	41,381.8
RIGHT - SOUTH SIDE =	41,186.8
SUB TOTAL =	208,373.9 / 289.33
AVERAGE GRADE =	720.26

PROPOSED MODEL FOR LOT #36 / 92 HALLEY DRIVE

NOTES:
"DO NOT SCALE PLANS!"
USE DIMENSIONS FOR CONSTRUCTION

PROJECT DATA:
MAIN FLR. LIVING AREA = 3,375 SQ. FT.
2ND. FLR. LIVING AREA = 2,830 SQ. FT.
TOTAL FLOOR AREA = 6,205 SQ. FT.

COVERED PORCHES = 315 SQ. FT.



ERIC KNUTE OSBORN ARCHITECT
OVER 46 YEARS EXPERIENCE
RESIDENTIAL - COMMERCIAL - ADDITIONS
58 BARNES ROAD
WASHINGTONVILLE, N.Y. 10992 - (845) 629-7474
EMAIL - EKOSBORNARCHITECT@GMAIL.COM
(845) 629-7474

PROJECT
NEW MODEL FOR
BEVERLY HILLS NY, LLC

LOT 36 / 92 HALLEY DRIVE
TOWN OF HAVERSTRAW
ROCKLAND COUNTY, NEW YORK
SBL 19.17-1-37

FOR REVIEW
FRONT ELEVATION

START DATE: 12 JUNE 2023

PROJECT # 2022 PR-6
SCALE 1/4" = 1'-0"
DWG. No.
A-2

SEAL & SIGNATURE

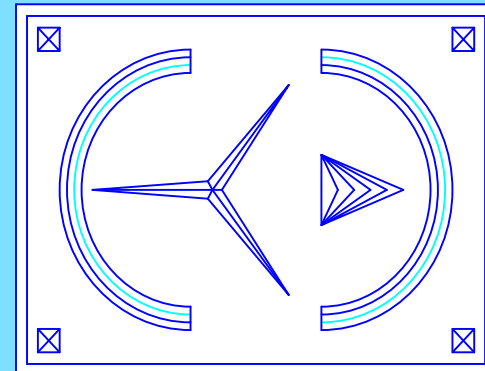
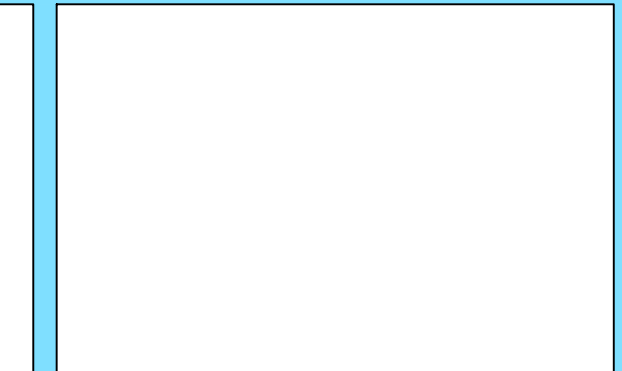
20 DEC. 2023
N.Y. LIC. #021-585

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NOTES:
 "DO NOT SCALE PLANS!"
 USE DIMENSIONS FOR CONSTRUCTION

PROJECT DATA:
 F.A.R. AREA = 2,955 SQ. FT.
 - OPEN AREA = 282 SQ. FT.
 LIVING AREA = 2,673 SQ. FT.
 ROOF DECKS = 722 SQ. FT.



ERIC KNUTE OSBORN ARCHITECT
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PROJECT
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 LOT 36 / 92 HALLEY DRIVE
 TOWN OF HAVERSTRAW
 ROCKLAND COUNTY, NEW YORK
 SBL 19.17-1-37

**FOR REVIEW
 REAR ELEVATION**

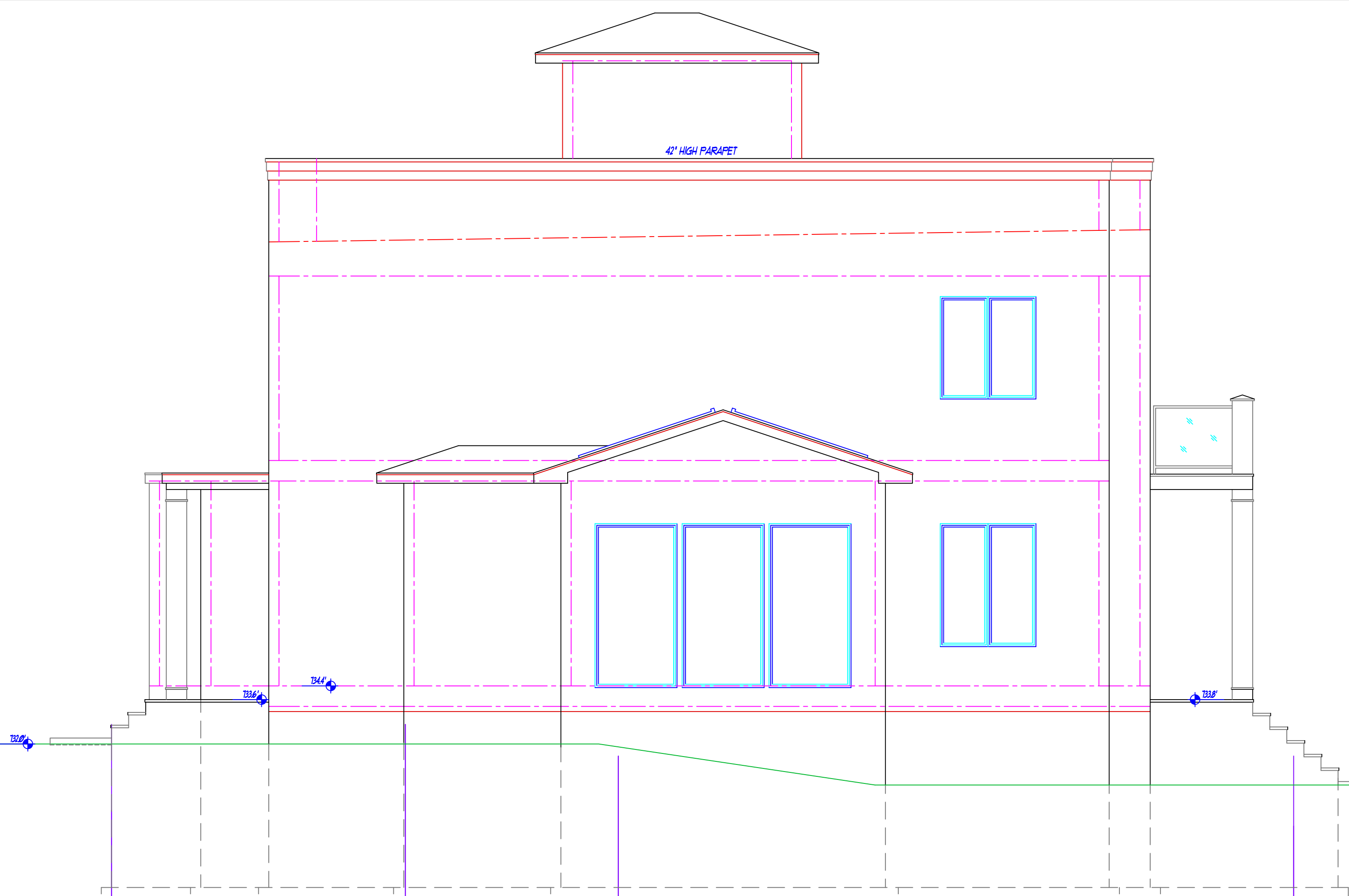
START DATE: 12 JUNE 2023

PROJECT # 2022 PR-6
 SCALE 1/4" = 1'-0"
 DWG. No. **A-3**

SEAL & SIGNATURE

 20 DEC. 2023
 N.Y. LIC. #021-585

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LEFT - NORTH SIDE ELEVATION

SCALE 1/4" = 1'-0"

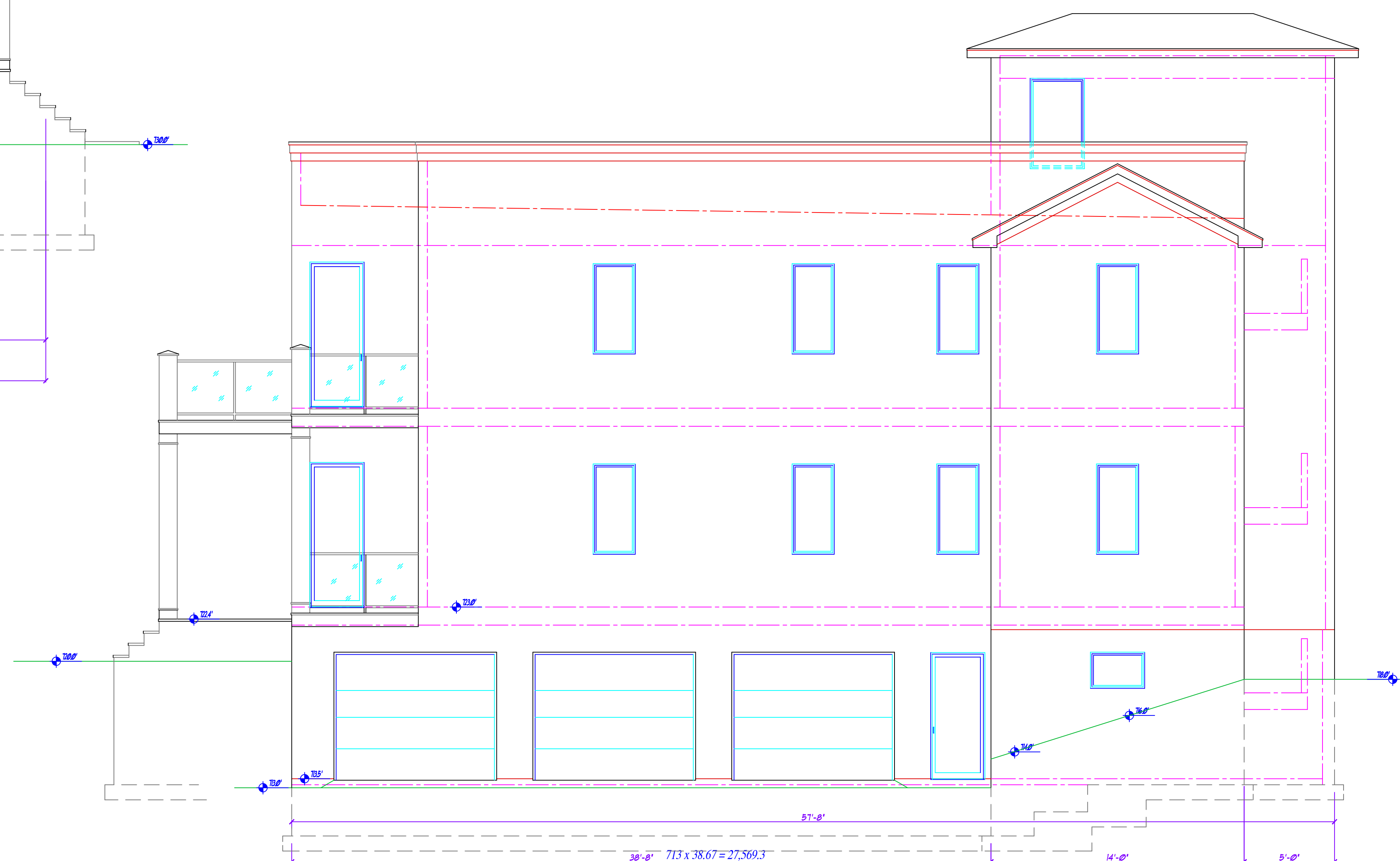
87'-8"

$14'-4"$
 $721.7 \times 14.33 = 10,344$

$10'-4"$
 $720 + 721.7 = 1441.7 / 2 = 720.85 \times 10.42 = 7508.85$

$33'-0"$
 $713 \times 33 = 23,529$

LEFT - NORTH SIDE = 41,381.8



RIGHT - SOUTH SIDE ELEVATION

RIGHT - SOUTH SIDE = 41,186.8

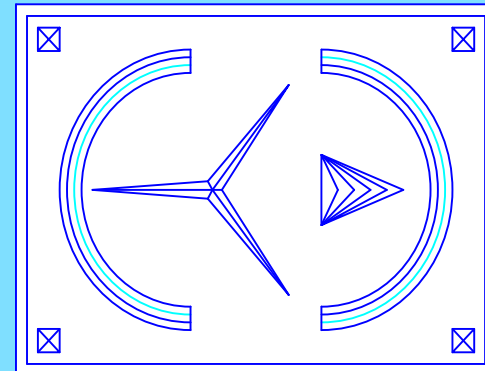
$38'-8"$ $713 \times 38.67 = 27,569.3$

$14'-0"$
 $718 + 714.5 = 1431 / 2 = 716.25 \times 14 = 10,027.5$

$5'-0"$
 $718 \times 5 = 3,590$

NOTES:
"DO NOT SCALE PLANS!"
USE DIMENSIONS FOR CONSTRUCTION

PROJECT DATA:
F.A.R. AREA = 2,955 SQ. FT.
- OPEN AREA = 282 SQ. FT.
LIVING AREA = 2,673 SQ. FT.
ROOF DECKS = 722 SQ. FT.



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EMAIL - EKOSBORNARCHITECT@GMAIL.COM
(845) 629-7474

PROJECT
NEW MODEL FOR
BEVERLY HILLS NY, LLC
LOT 36 / 92 HALLEY DRIVE
TOWN OF HAVERSTRAW
ROCKLAND COUNTY, NEW YORK
SBL 19.17-1-37

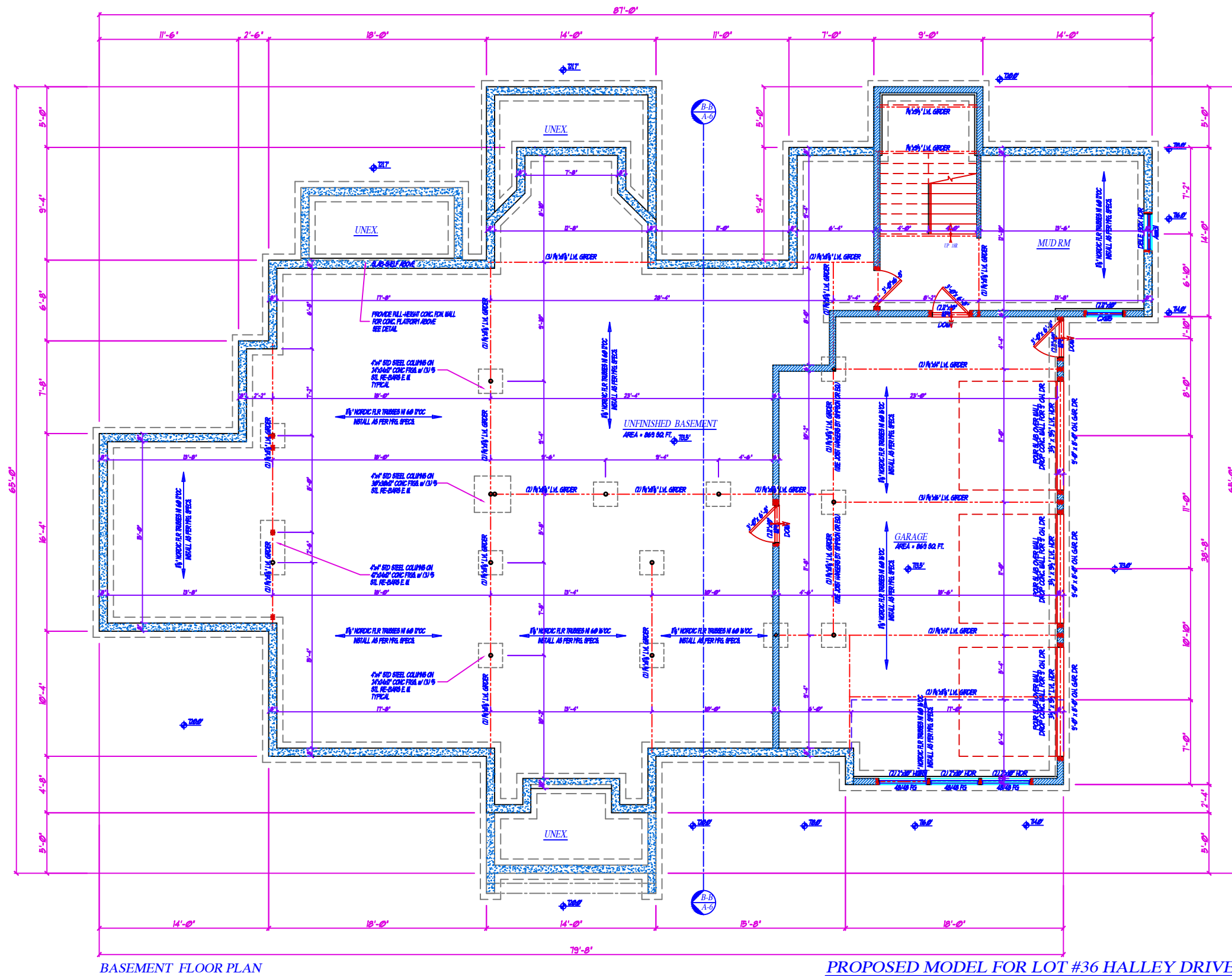
FOR REVIEW
SIDE ELEVATIONS

START DATE: 12 JUNE 2023

PROJECT # 2022 PR-6
SCALE 1/4" = 1'-0"
DWG. No.
A-4

SEAL & SIGNATURE

20 DEC. 2023
N.Y. LIC. #021-585

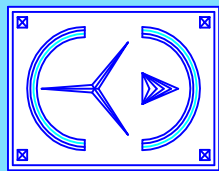


BASEMENT FLOOR PLAN

PROPOSED MODEL FOR LOT #36 HALLEY DRIVE

NOTES:
 "DO NOT SCALE PLANS!"
 USE DIMENSIONS FOR CONSTRUCTION

PROJECT DATA:
 BASEMENT FLOOR AREA = 2,389 SQ. FT.
 GARAGE AREA = 869 SQ. FT.



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PROJECT
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 LOT 36 / 92 HALLEY DRIVE
 TOWN OF HAVERSTRAW
 ROCKLAND COUNTY, NEW YORK
 SBL 19.17-1-37

BASEMENT FLOOR PLAN

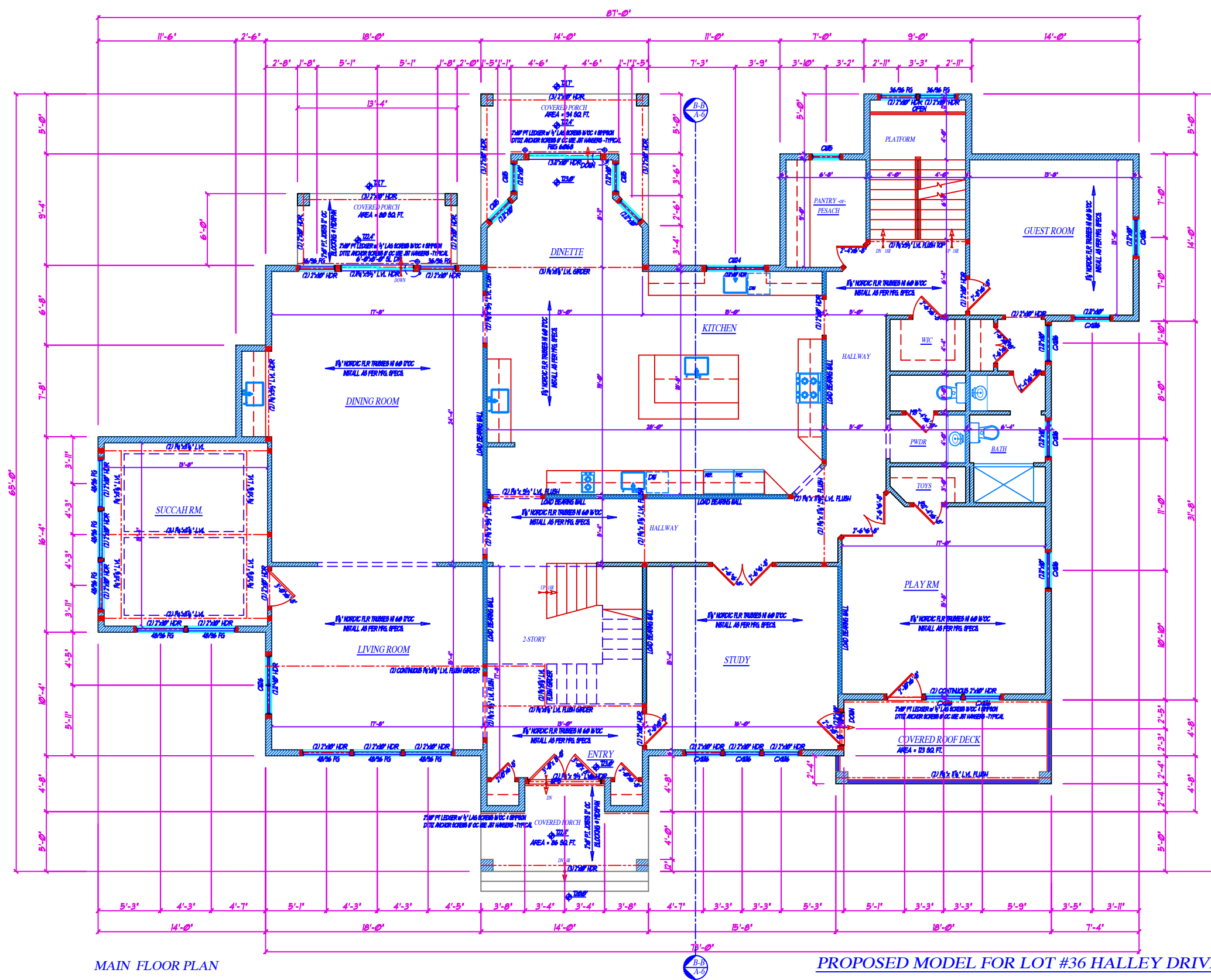
START DATE: 12 JUNE 2023

PROJECT # 2022 PR-6
 SCALE 1/8" = 1'-0"
 DWG. No. **A-5**

SEAL & SIGNATURE

 1 NOV. 2023
 N.Y. LIC. #021-585

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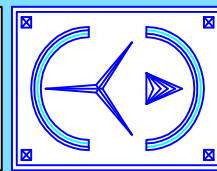


MAIN FLOOR PLAN

PROPOSED MODEL FOR LOT #36 HALLEY DRIVE

NOTES:
 *DO NOT SCALE PLANS!
 USE DIMENSIONS FOR CONSTRUCTION

PROJECT DATA:
 MAIN FLR. LIVING AREA = 3,375 SQ. FT.
 COVERED PORCHES = 383 SQ. FT.
 BUILDING COVERAGE = 3,758 SQ. FT.



ERIC KNUTE OSBORN ARCHITECT
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PROJECT
NEW MODEL FOR BEVERLY HILLS NY, LLC
 LOT 36 / 92 HALLEY DRIVE
 TOWN OF HAVERSTRAW
 ROCKLAND COUNTY, NEW YORK
 SBL 19.17-1-37

MAIN FLOOR PLAN

START DATE: 12 JUNE 2023

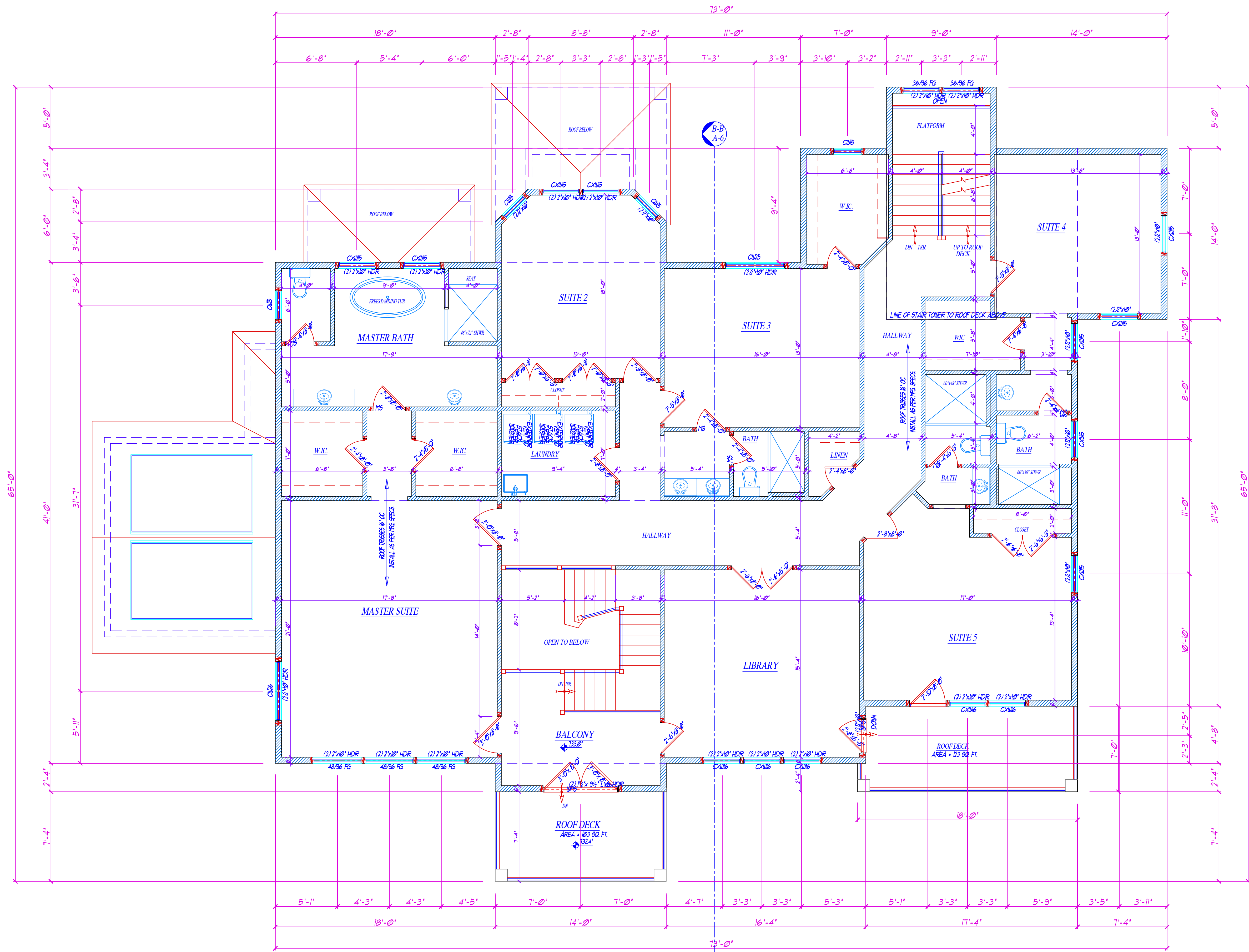
PROJECT # 2022 PR-6
 SCALE 1/8" = 1'-0"
 DWG. No.

A-6

SEAL & SIGNATURE

 1 NOV. 2023
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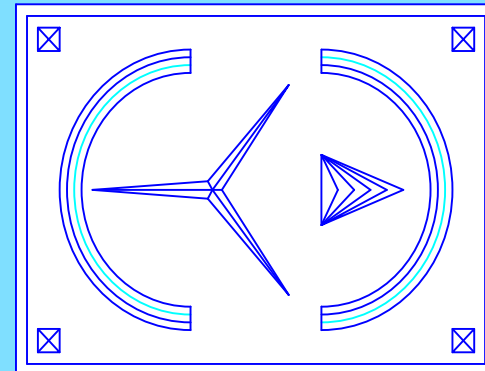


SECOND FLOOR PLAN

PROPOSED MODEL FOR LOT #36 HALLEY DRIVE

NOTES:
 *DO NOT SCALE PLANS!
 USE DIMENSIONS FOR CONSTRUCTION

PROJECT DATA:
 2ND FLOOR AREA = 3,080 SQ. FT.
 - OPEN AREA = 170 SQ. FT.
 LIVING AREA = 2,910 SQ. FT.
 ROOF DECKS = 226 SQ. FT.



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PROJECT
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 SBL 19.17-1-37

SECOND FLOOR PLAN

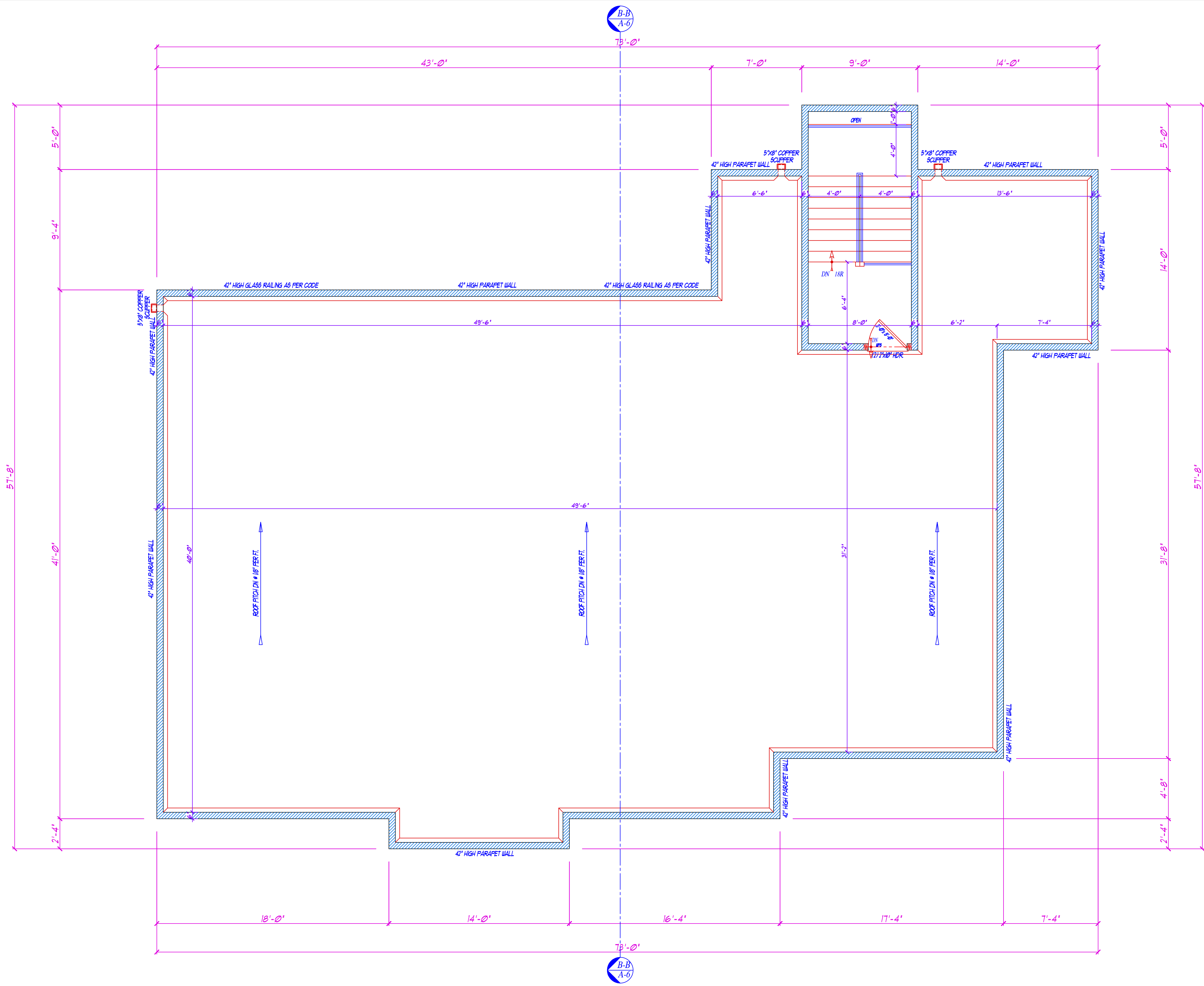
START DATE: 12 JUNE 2023

PROJECT # 2022 PR-6
 SCALE 1/8" = 1'-0"
 DWG. No. **A-7**

SEAL & SIGNATURE

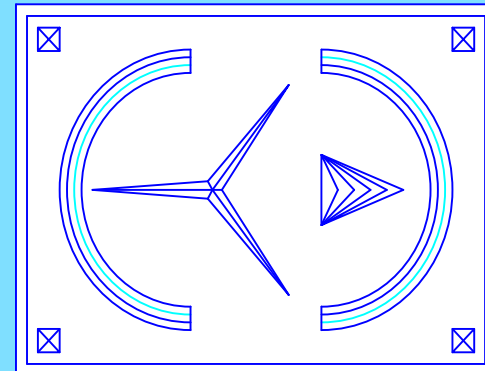
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NOTES:
 "DO NOT SCALE PLANS!"
 USE DIMENSIONS FOR CONSTRUCTION

PROJECT DATA:
 F.A.R. AREA = 3,000 SQ. FT.
 - OPEN AREA = 170 SQ. FT.
 LIVING AREA = 2,830 SQ. FT.
 ROOF DECKS = 225 SQ. FT.



ERIC KNUTE OSBORN ARCHITECT
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PROJECT
 NEW MODEL FOR
 BEVERLY HILLS NY, LLC
 LOT 36 / 92 HALLEY DRIVE
 TOWN OF HAVERSTRAW
 ROCKLAND COUNTY, NEW YORK
 SBL 19.17-1-37

**FOR REVIEW
 ROOF DECK**

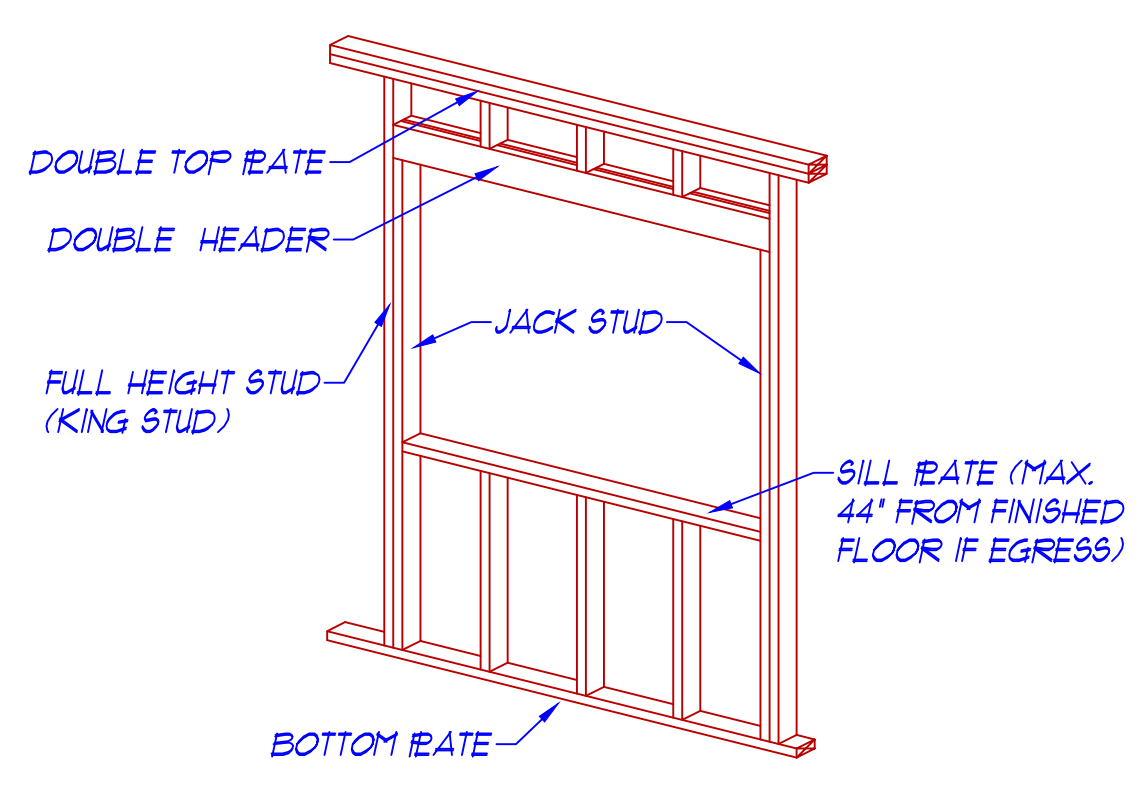
START DATE: 12 JUNE 2023

PROJECT # 2022 PR-6
 SCALE 1/8" = 1'-0"
 DWG. No.
A-8

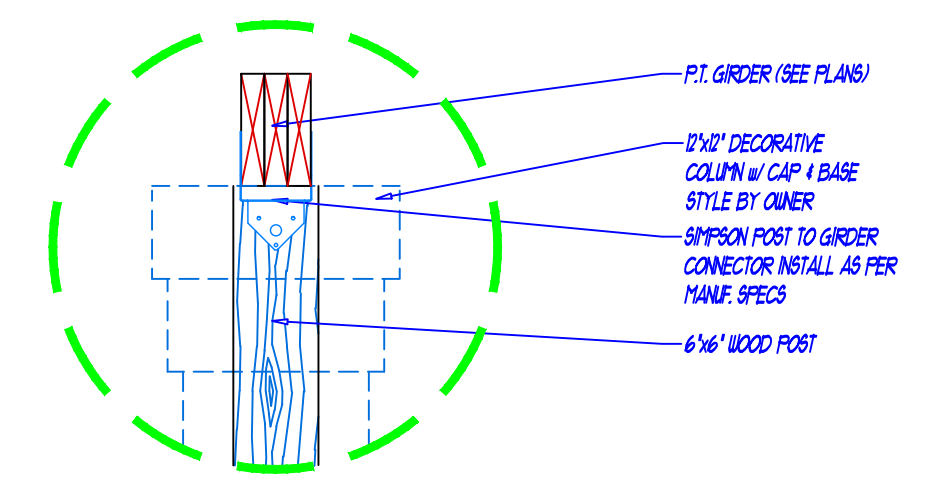
SEAL & SIGNATURE

 20 DEC. 2023
 N.Y. LIC. #021-585

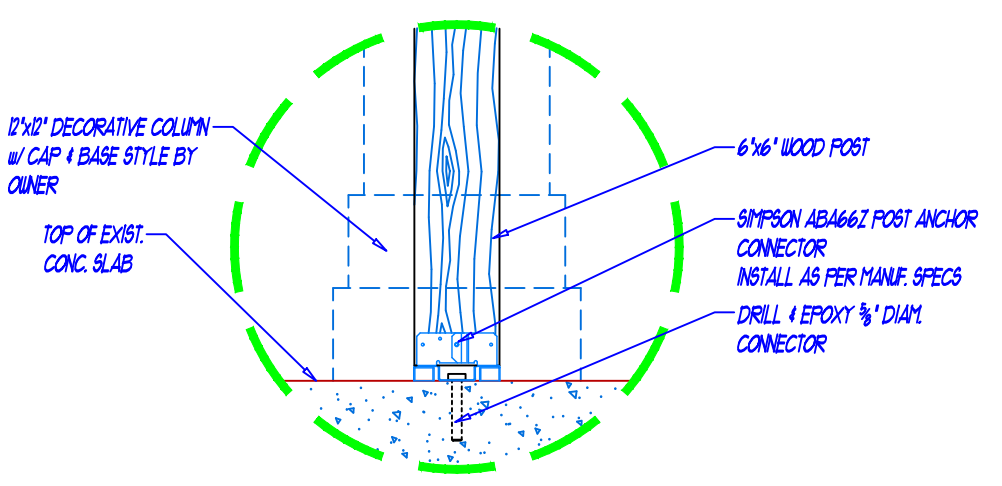
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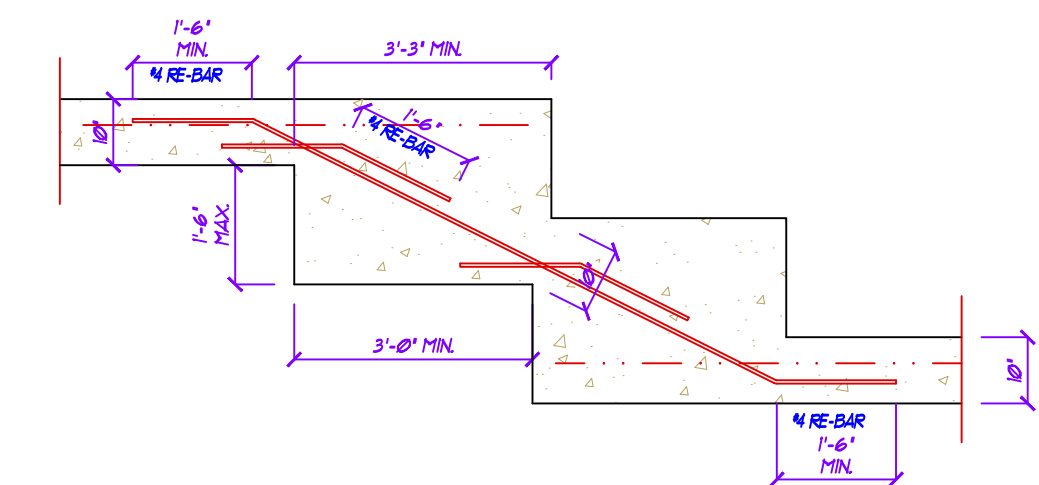
WINDOW OPENING DETAIL
NOT TO SCALE



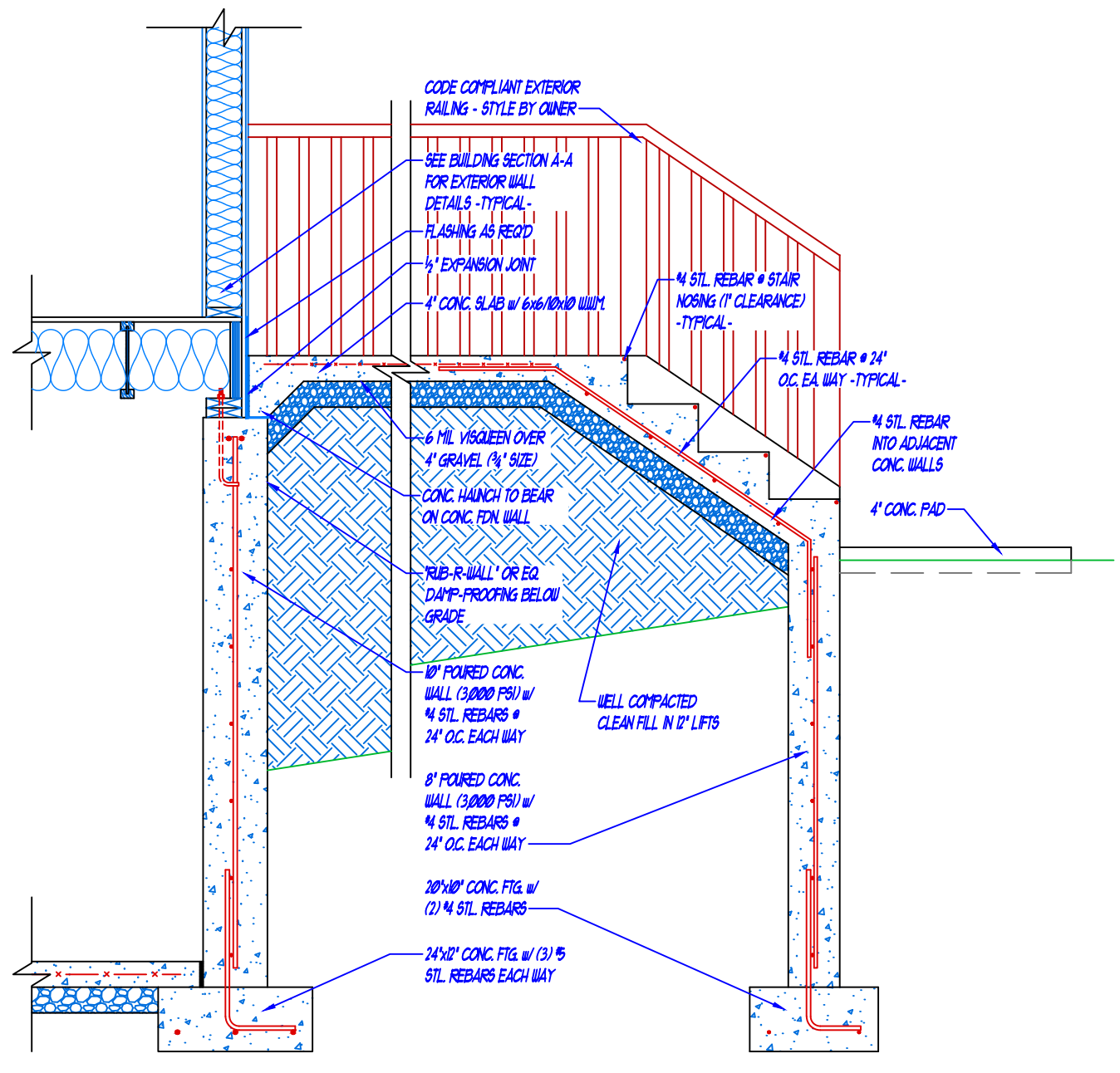
COLUMN DETAIL A
SCALE 1" = 1'-0"



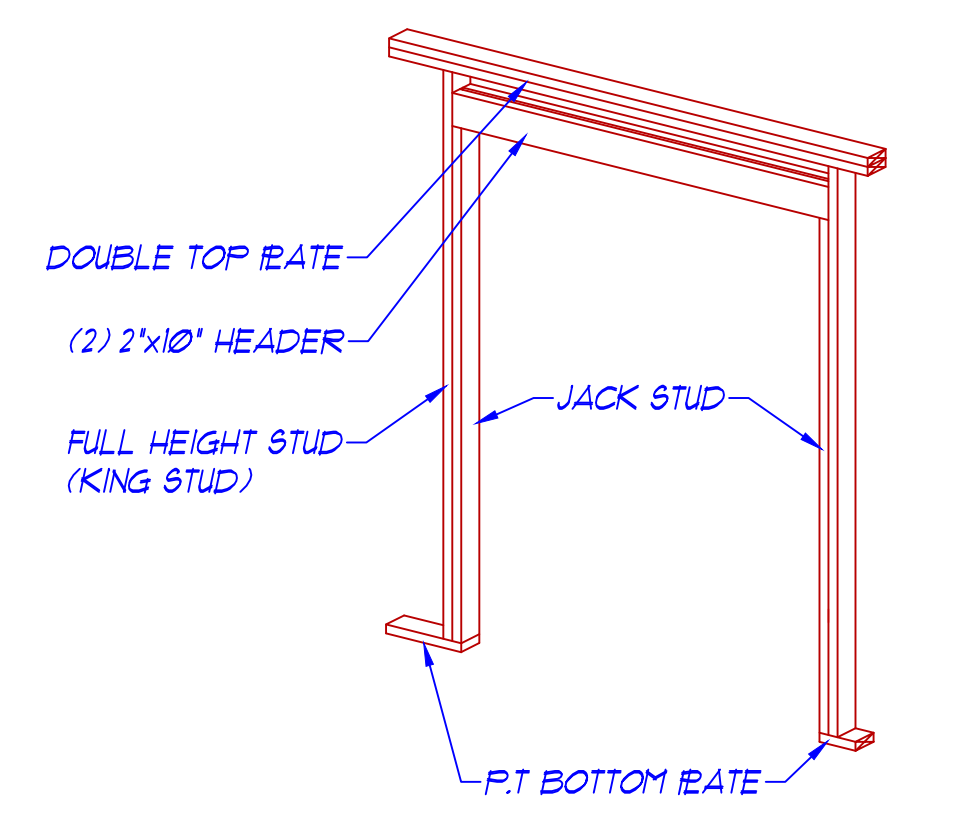
COLUMN DETAIL B
SCALE 1" = 1'-0"



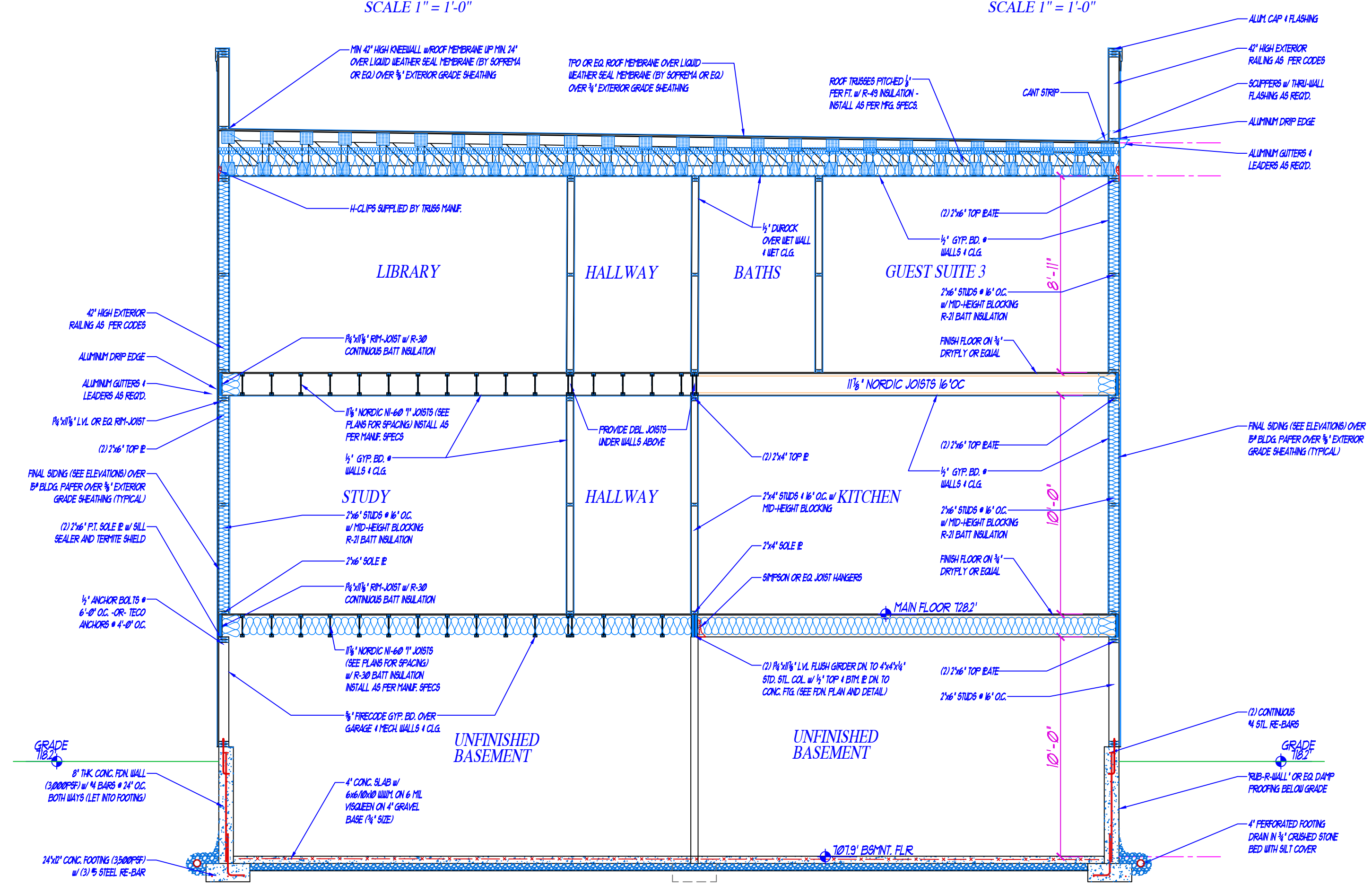
STEP FOOTING DETAIL
SCALE 3/8" = 1'-0"
NOTES - TOP SURFACE OF FTGS. TO BE LEVEL. BOTTOM SURFACE OF FOOTINGS NOT TO HAVE A SLOPE EXCEEDING ONE VERTICAL UNIT IN 10 UNITS (MAX 10% SLOPE). MINIMUM 3 INCHES OF CONCRETE COVERAGE AROUND ALL RE-BARS.



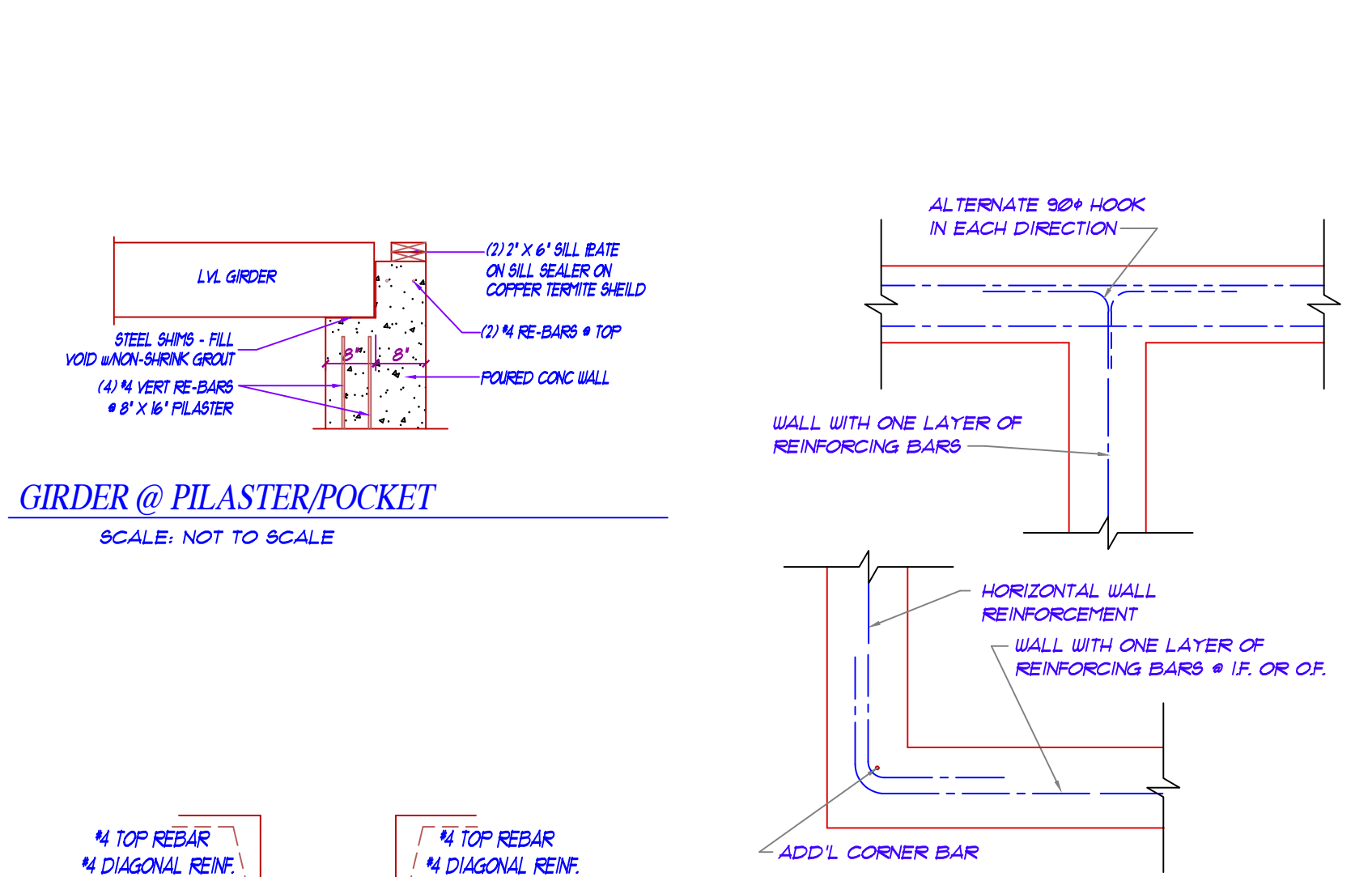
CONCRETE PORCH DETAIL
SCALE 1/2" = 1'-0"



DOOR OPENING DETAIL
NOT TO SCALE



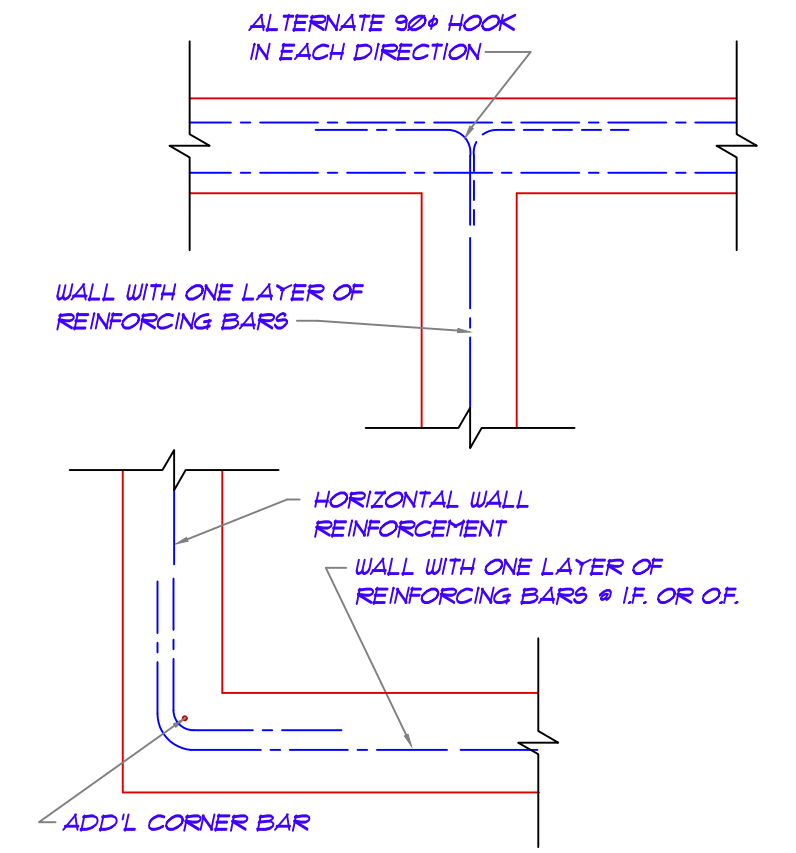
BUILDING SECTION



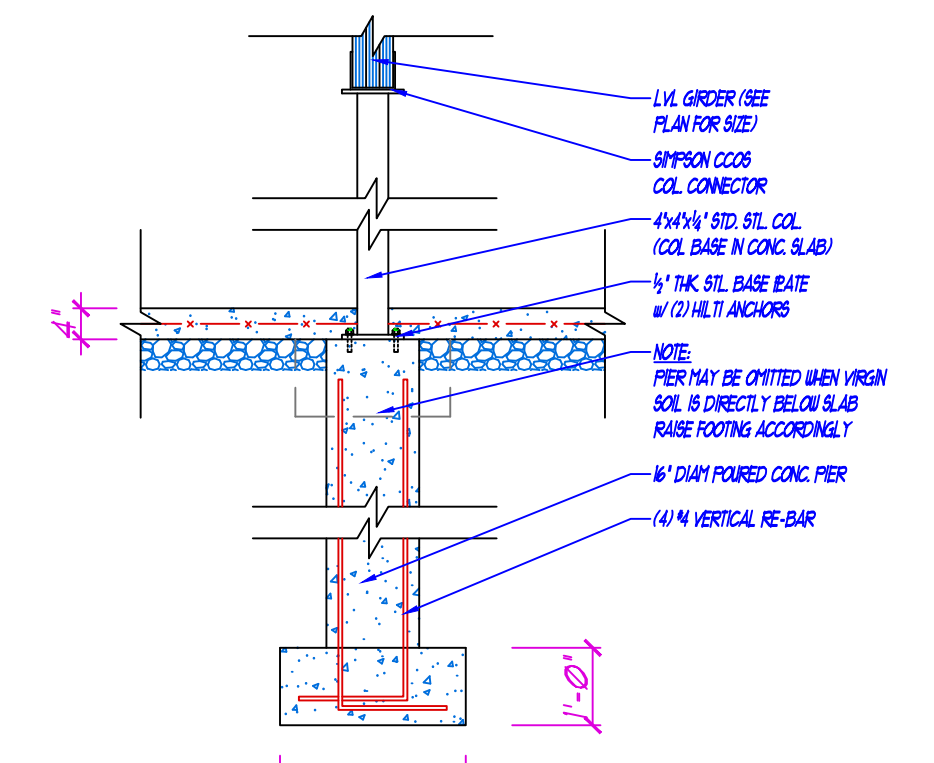
GIRDER @ PILASTER/POCKET
SCALE: NOT TO SCALE



REINF. DETAIL @ FNDTN OPENINGS
SCALE: NOT TO SCALE



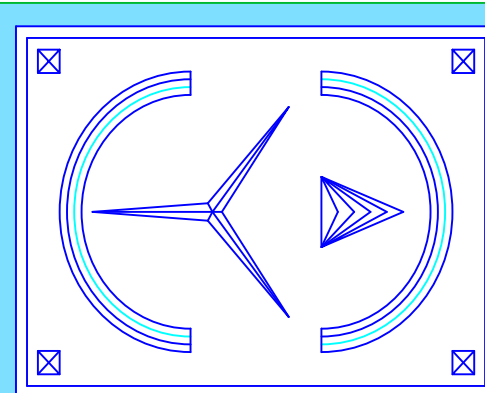
FOOTING & WALL REINFORCEMENT AT INTERSECTIONS
NOT TO SCALE
NOTE FOR VERTICAL REINFORCING NOT SHOWN, SEE SECTIONS FOR SIZES AND SPACING OF ALL REINFORCING.



TYPICAL STEEL COLUMN DETAIL
SCALE 1/2" = 1'-0"

NOTES:
"DO NOT SCALE PLANS!"
USE DIMENSIONS FOR CONSTRUCTION

PROJECT DATA:



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PROJECT
NEW MODEL FOR BEVERLY HILLS NY, LLC
LOT 36 / 92 HALLEY DRIVE
TOWN OF HAVERSTRAW
ROCKLAND COUNTY, NEW YORK
SBL 19.17-1-37

SECTION & DETAILS

START DATE: 12 JUNE 2023

PROJECT # 2022 PR-6
SCALE 1/8" = 1'-0"
DWG. No. **A-9**

SEAL & SIGNATURE

20 DEC. 2023
N.Y. LIC. #021-585